

Disney | ABC Studios at The Ranch

Draft Environmental Impact Report

Volume VII



SCH No. 2010011010
County Project No. TR071216-(5)
Plan Amendment No. 200900010
Zone Change No. 200900012
Vesting Tentative Tract Map No. 071216
Conditional Use Permit No. 200900126
Oak Tree Permit No. 200900041
Parking Permit No. 201000002
Environmental Review No. 200900112

Lead Agency:
County of Los Angeles
Department of Regional Planning
Impact Analysis Section
320 West Temple Street, Room 1348
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Appendix G.1

Historic Resources Assessment



HISTORIC RESOURCES ASSESSMENT AND POTENTIAL IMPACTS
ANALYSIS FOR
DISNEY | ABC STUDIOS AT THE RANCH
GOLDEN OAK RANCH
19802 PLACERITA CANYON ROAD,
LOS ANGELES COUNTY, CALIFORNIA

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June 2010

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I. INTRODUCTION

A. OVERVIEW AND SCOPE

In June 2008, PCR Services Corporation conducted a site visit and initiated research for an historic resources assessment for Disney|ABC Studios at The Ranch (the “Proposed Project”) on Golden Oak Ranch (the “Property”) located at 19802 Placerita Canyon Road in an unincorporated area of the County of Los Angeles, just south and east of the City of Santa Clarita. On March 17, 2010, PCR conducted an additional site visit and initiated research for the areas of potential offsite infrastructure improvements for the Proposed Project, which are located just west and northwest of the Property. The Property includes approximately 890 acres bounded generally to the west and north by the Antelope Valley Freeway (State Route 14) and through which Placerita Canyon Road runs in an east-west direction as shown in **Figure 1, Regional Map**. The Proposed Project would be located on 56 acres in the westernmost portion of the Ranch (“Development Area”) just east of State Route 14. The Property is generally separated from other uses by State Route 14 and open space areas with steep ridgelines to the south, east and north. Other uses in the greater vicinity of the Property include oil fields, Placerita Canyon State Park, and residential subdivisions and commercial uses to the north and southwest within the City of Santa Clarita.

The Proposed Project would include the construction of a new state-of-the-art studio campus in the Development Area as shown in **Figure 2, Proposed Project Map**. The Proposed Project would include up to twelve soundstages, six production offices, six mills for set fabrication, a commissary, six writers/producers bungalows, a warehouse, and an administration building and two ancillary facilities, including a central utility plant and an electrical substation, all located in the Development Area of the Property. The Proposed Project would have approximately 555,950 gross square feet of building area, with approximately 66,300 square feet of ancillary facilities. There is an option to develop studio offices instead of four soundstages and two mills within the northern portion of the Development Area. This option would have approximately 510,000 gross square feet of building area, with approximately 66,300 square feet of ancillary facilities. In addition, new offsite infrastructure to support the project would include traffic improvements at Sierra Highway, sanitary sewer improvements, and new water improvements (**Figures 3-5**).

Cattle ranching, agriculture, gold exploration, oil production, horse breeding, and film production are the Property’s past uses. The primary use of the Property today is as an outdoor set location for filming motion pictures, television and commercial productions. Situated in Placerita Canyon, the sets take advantage of the Property’s panoramic views, which provide ideal backdrops for location shoots. These views include the nearby San Gabriel Mountains, which provide a dramatic background to the south. Present agricultural uses include a tree farm and agricultural fields.

The Property has a past that is notable for its association with ranching activities similar to the surrounding area at large. The overall integrity of the Property, however, as a potential historic ranch or rural historic agricultural landscape is limited. No remaining physical evidence was found of gold mining or oil exploration activities from the 19th or early 20th centuries within the Development Area or project vicinity; there are few, if any, physical traces of these past activities in Placerita Canyon as a whole. While physical traces of historic ranching, agricultural and equestrian uses are still evident within the Development Area and the Property, considerable alterations to the landscape, road network and structures during the past 50 years have greatly impacted the Property’s historic fabric, substantially detracting from its potential eligibility as a historic agricultural landscape. Film production activities on the Property began in the early

1930s and have continued to the present time. Ephemeral in nature, the numerous temporary sets constructed over the years in support of film production have largely disappeared. The few remaining sets, which are relatively recently constructed and substantially altered, are ineligible as potential resources because they do not provide a physical record of historically significant film production activities.

The Property as a whole, the Development Area, the extant buildings, landscape features, and the setting of the Property were assessed for their potential eligibility as individual resources as well as their eligibility as contributors to a potential historic ranch or agricultural landscape district. The location of surveyed resources is shown on **Figure 6, Surveyed Resources**. As a result of these investigations, although several individual resources and a potential ranch district were surveyed and evaluated, none were found eligible as historical resources.

While associated with ranching activities in the past, the integrity of the offsite infrastructure improvement areas is no longer intact due to decades of disturbance with the construction of roads and residential communities in these areas. These areas were assessed for their potential eligibility as historic resources and determined not to be eligible.

Therefore, the Proposed Project would result in no impact to historical resources under CEQA.

B. PROJECT DESCRIPTION

The Proposed Project would construct a new state-of-the-art studio on 56 acres in the westernmost portion of the Property. The Proposed Project would include twelve soundstages, six production offices, six mills for set fabrication, a commissary, six writers/producers bungalows, a warehouse, and an administration building and two ancillary facilities, including a central utility plant and an electrical substation, all located in the Development Area of the Property. The Proposed Project would have approximately 555,950 gross square feet of building area, with approximately 66,300 square feet of ancillary facilities. There is an option to develop studio offices instead of four soundstages and two mills within the northern portion of the Development Area. This option would have approximately 510,000 gross square feet of building area, with approximately 66,300 square feet of ancillary facilities.

In addition, offsite infrastructure improvements to support the Proposed Project would include traffic improvements at the following locations: Sierra Highway and State Route 14 southbound off-ramp; Sierra Highway and Placerita Canyon Road; Placerita Canyon Road and State Route 14 northbound off-ramp; and the corner of the current entrance to the Property and Placerita Canyon Road. Furthermore, the Proposed Project would include offsite sanitary sewer improvements and water improvements, as well as connections to existing gas and electrical infrastructure in the area.

C. METHODS

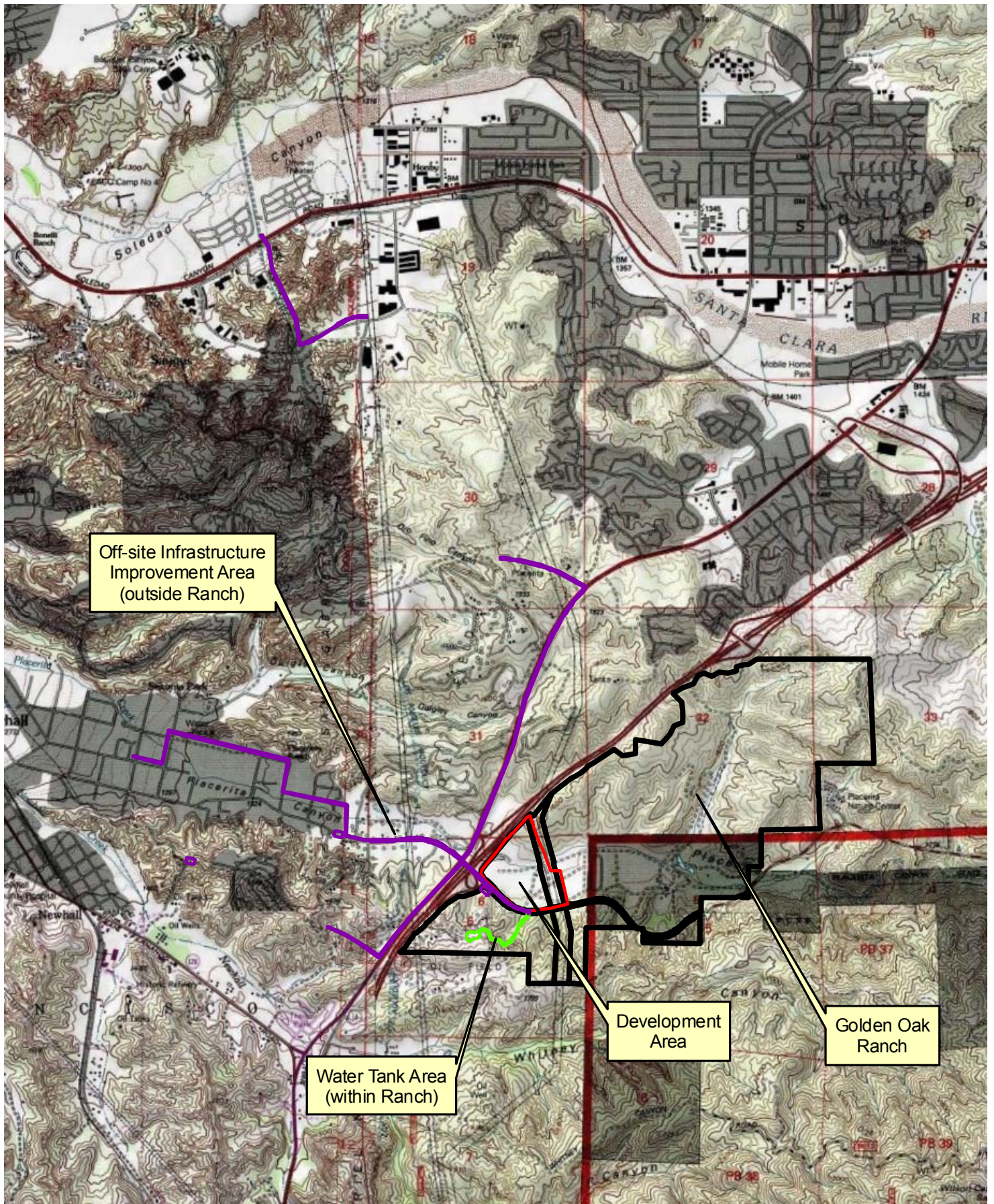
A multi-step methodology was used to evaluate the Property, the Development Area, and the location of offsite infrastructure improvements. PCR's architectural historians conducted a pedestrian site survey of the entire Property, which included a review of permanent and temporary buildings, landscapes, circulation patterns, fields, pastures, streams, paths, spatial divisions, boundary demarcations, vegetation, and areas of land use. A focused research effort was then undertaken, using primary and secondary research materials,



Regional Map
Disney | ABC Studios at The Ranch

Source: ESRI, 2010; PCR Services Corporation, 2010.

FIGURE
1

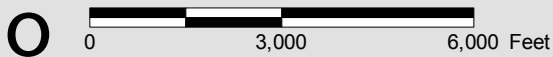


Off-site Infrastructure Improvement Area (outside Ranch)

Water Tank Area (within Ranch)

Development Area

Golden Oak Ranch



Proposed Project Map
Disney | ABC Studios at The Ranch

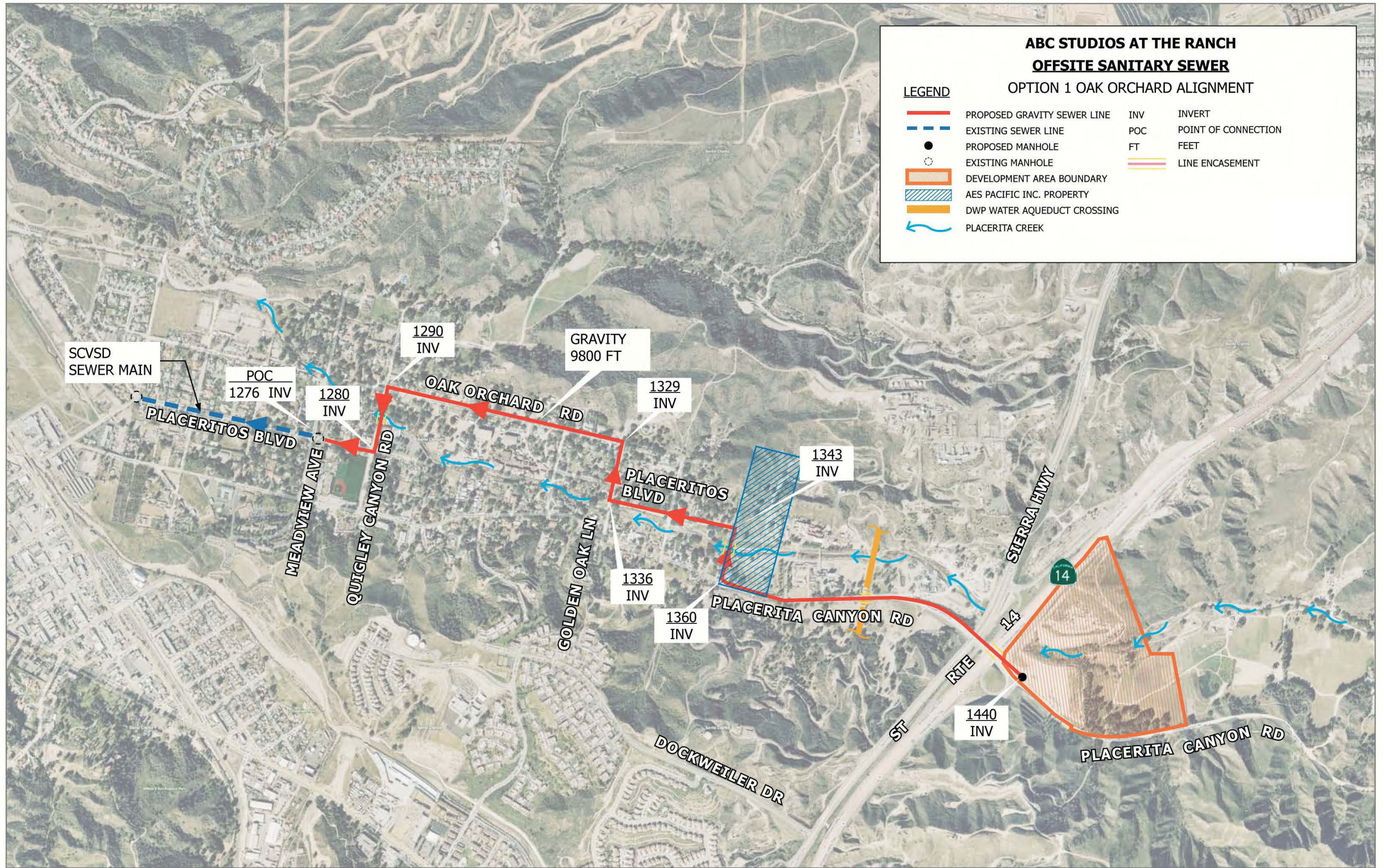
Source: USGS Topographic Series (Mint Canyon, San Fernando, CA); PCR Services Corporation, 2010.

FIGURE
2



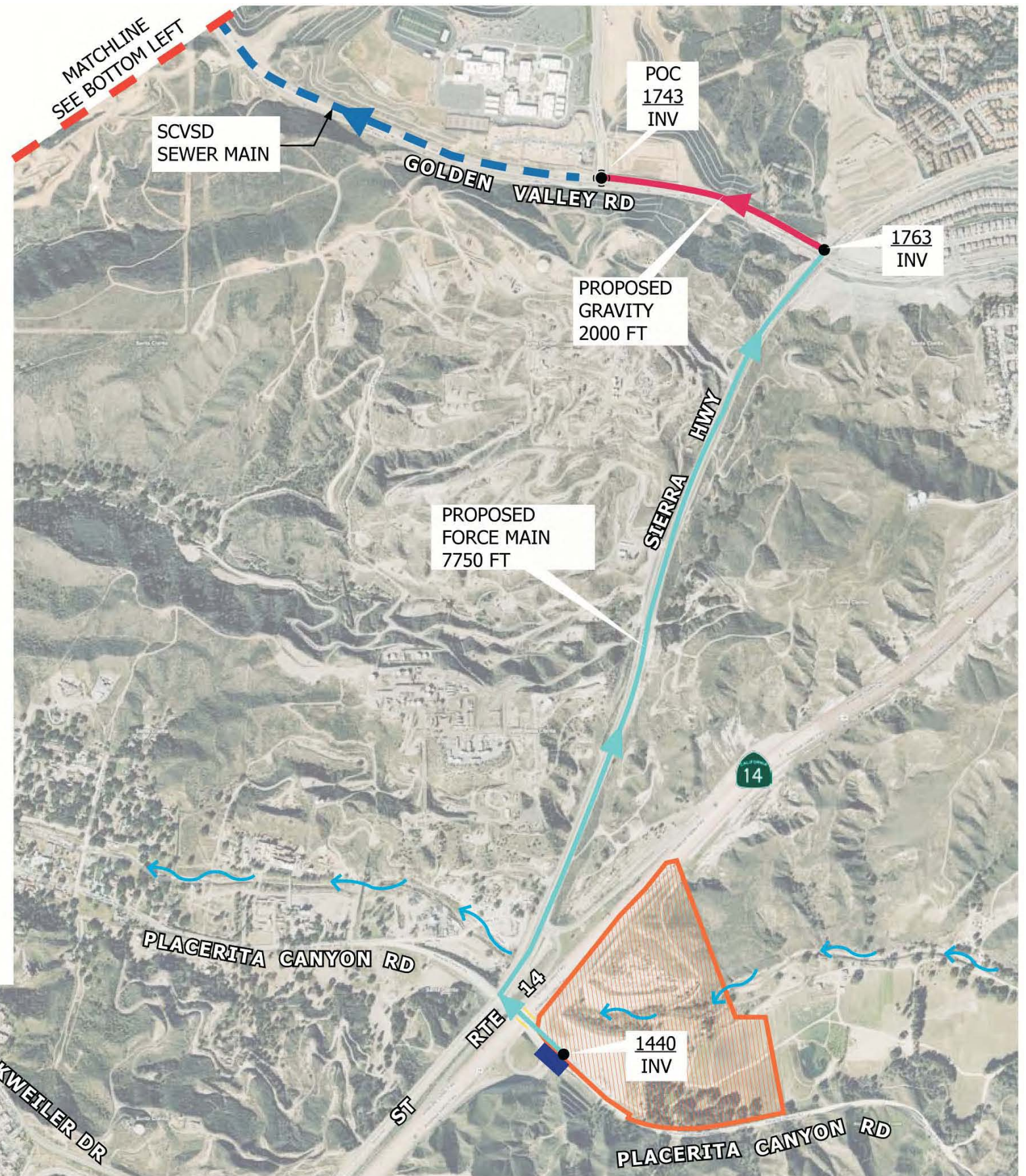
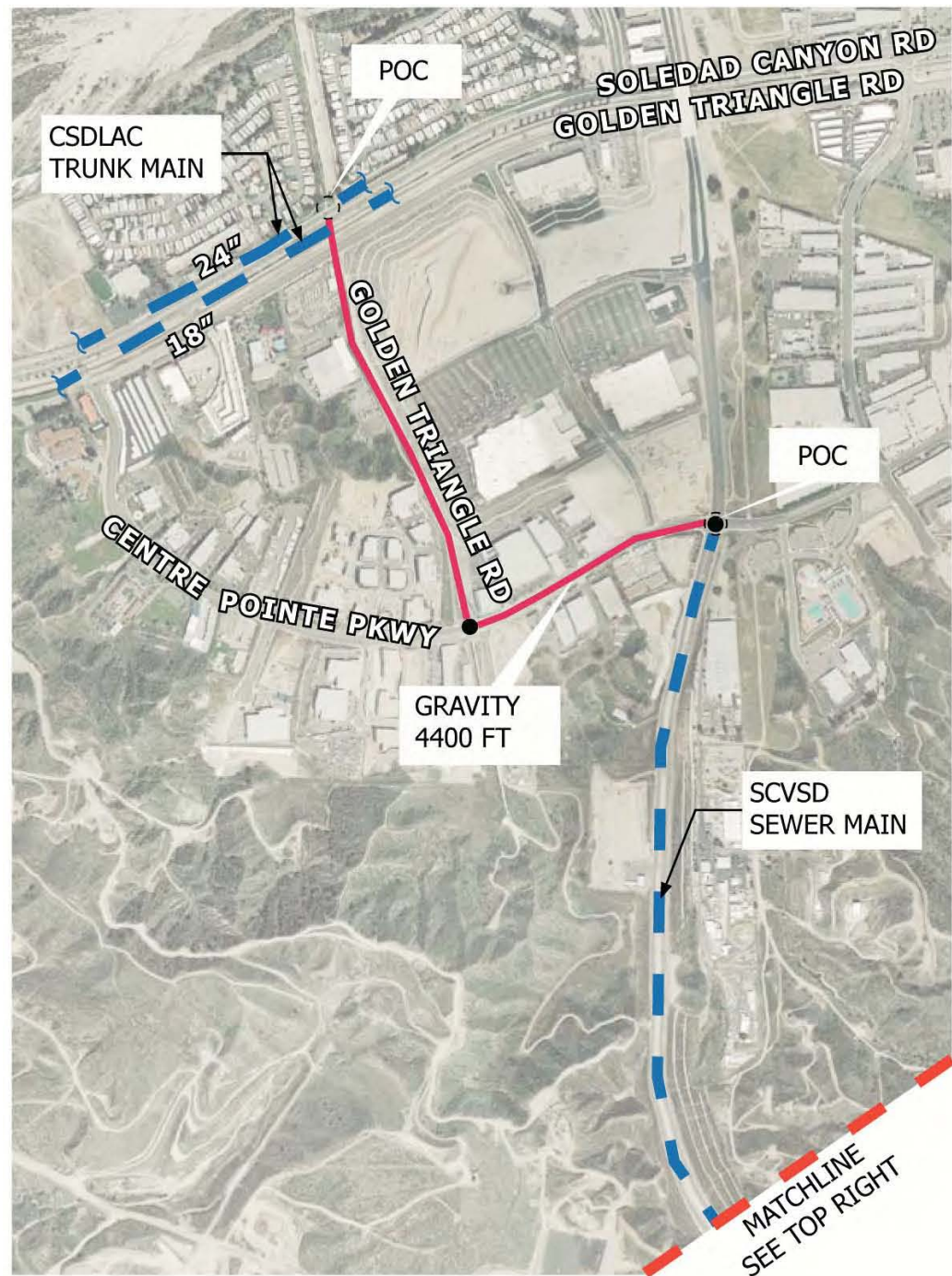
Alternatives A and B Off-Site Water Improvements
Disney | ABC Studios at The Ranch

Source: Disney | ABC Studios at The Ranch, 2010.



Off-Site Sanitary Sewer Improvements Option 1
Disney | ABC Studios at The Ranch

Source: Disney | ABC Studios at The Ranch, 2010.



**ABC STUDIOS AT THE RANCH
OFFSITE SANITARY SEWER**

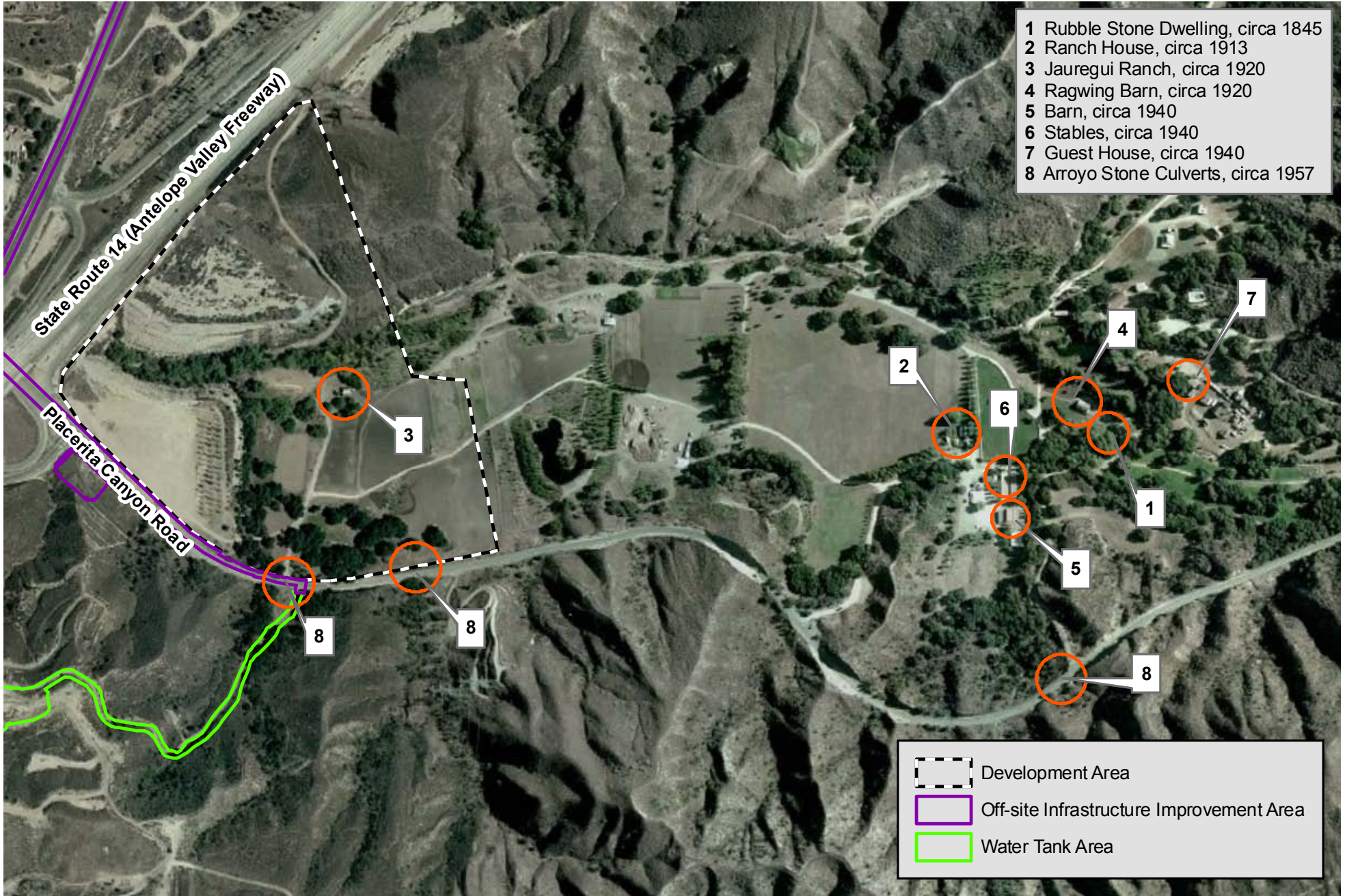
LEGEND **OPTION 2 FORCE MAIN SYSTEM TO GOLDEN VALLEY ROAD**

	EXISTING SEWER LINE		GRAVITY LINE		DUAL FORCE MAIN LINE
	PROPOSED MANHOLE		POC		EXISTING SEWER LINE
	DEVELOPMENT AREA BOUNDARY		FT		GRAVITY LINE
	PROPOSED PUMP LIFT STATION		1440		DUAL FORCE MAIN LINE
	PLACERITA CREEK		ELEVATION ABOVE SEA LEVEL		GRAVITY LINE
	LINE ENCASEMENT		PROPOSED CONNECTIONS		DUAL FORCE MAIN LINE
			MATCHLINE		EXISTING SEWER LINE



**Off-Site Sanitary Sewer Improvements Option 2
Disney | ABC Studios at The Ranch**

Source: Disney | ABC Studios at The Ranch, 2010.



to develop a historic context for the Property and define periods of significance (i.e., when the Property was associated with events, activities, and persons and attained its important physical qualities or characteristics), in order to identify potentially eligible historic resources.¹ Regulations, bulletins, and technical materials relating to federal, state and county designation processes were also reviewed and analyzed. The criteria of the National Register of Historic Places and the California Register of Historic Properties were employed to evaluate the potential historical and architectural significance of the Property, the Development Area, and the areas of offsite infrastructure improvements. The majority of the sources used to prepare this document were found in the published record, including maps, city directories, newspaper articles, old photographs, and other sources. As is often the case with agricultural properties that have a long history of continuous occupation, oral histories were vital in developing a general chronology of the past activities at the Property. Oral histories were then fact-checked and verified through tract history and assessor record property research. This research was important for documenting past property uses, developing the contextual background, compiling a construction chronology for surveyed buildings and features, and developing a record of later alterations. Field survey work was documented in digital 35mm color photographs and manuscript notes. Per CEQA requirements, the survey work was conducted in accordance with the *Instructions for Recording Historical Resources* (Sacramento, Office of Historic Preservation, March 1995).

The assessment was conducted by PCR's Director of Historic Resources, Margarita Wuellner, Ph.D., Senior Architectural Historian, Jon L. Wilson, M.A., M.Arch., Associate Architectural Historian, Marlise Fratinardo, M.L.A., and Assistant Architectural Historian, Amanda Kainer, M.S., whose qualifications meet and exceed the Secretary of the Interior's professional qualifications standards in history, architectural history, historic architecture, and landscape architecture. Professional qualifications are provided in the Appendix.

¹ National Park Service, *National Register Bulletin: Guidelines for Documenting Rural Historic Landscapes* (Washington, D.C.: U.S. Department of the Interior, National Park Service, Interagency Resources Division, 1989, rev. 1990).

II. CONTEXTUAL BACKGROUND

The contextual background developed below presents the primary themes associated with past activities on the Property during the 19th and 20th centuries: ranching and agriculture, gold mining, oil exploration, horse breeding, and film production. A period of significance is identified for each theme, which specifies the span of years the Property was associated with each past activity.

A. MISSION SAN FERNANDO, ESTANCIA DE SAN FRANCISCO (1804 – 1833)

The period of significance for the area's association with the Mission San Fernando and Estancia de San Francisco Xavier begins with the establishment of the Estancia de San Francisco Xavier in 1804 and ends in 1833 when the Mexican Congress began to dismantle mission properties.

Published local histories indicate that the vicinity of Placerita Canyon was once associated with the vast ranching operations of Mission San Fernando, one of the major missions of early Los Angeles that encompassed, at its peak, most of the San Fernando Valley. No documentation specifically linking the Property or the Development Area with the Mission was uncovered; however, given the scope of the Mission's vast ranching activities in the vicinity it appears likely that the Property was used by the Mission as rangeland.

Mission San Fernando Rey de España (Mission) was established in 1797. Shortly thereafter, the Mission established an *estancia*, or outpost, near Castaic Junction on the site of the Valencia community. In 1804, Estancia de San Francisco Xavier (Estancia) was constructed approximately 14 miles to the northwest of the Property.² The Estancia's primary function was to manage the Mission's vast ranching operations.

The Property is located relatively equidistant from the former Mission San Fernando and the Estancia, which, combined with its canyon topography, would have made it well suited as a range for the Mission's livestock. The Mission's large-scale ranching activities appear to have occupied much of the Santa Clarita Valley. The most important ranching activity in the Santa Clarita Valley was cattle ranching for the exportation of leather.³ By 1813, the Santa Clarita Valley was reportedly so flush with cattle that a fence had to be constructed across Newhall Pass in order to contain the herds securely within the valley.⁴

The Mission's large-scale ranching activities continued to function throughout the era of the Mexican Revolution, which began in 1821. However, by 1833, Mexico successfully gained its independence from Spain and the Mexican Congress began to take possession of church-owned mission properties.⁵

² Darryl Manzer, "Evolution of the Local Rancho," *Old Town Newhall Gazette* (March-April 2006).

³ *Ibid.*

⁴ *Ibid.*

⁵ *Ibid.*

B. RANCHO ERA (1834-1862)

The period of significance for the area's association with the Rancho era begins with the arrival of Antonio Del Valle in 1834 and ends when the Del Valle family sold their holdings in 1862. Antonio Del Valle, a Spanish soldier, arrived at Mission San Fernando in 1834 charged with the task of inventorying and dismantling the Mission. In 1839, he obtained a large portion of the former Mission San Fernando for himself in the form of a 48,829-acre land grant called Rancho San Francisco from Juan B. Alvarado, the Governor of California.

An early map entitled, "Rancho San Francisco," circa 1843, shows the mid-19th century rancho's structures and landscape features; and a circa 1946 map shows that the rancho was located to the east of contemporary Newhall and to the west of the Sierra Highway (**Figure 7**, *Rancho San Francisco, circa 1843*, and **Figure 8**, *Thomas Brothers Maps showing the location of Rancho San Francisco, circa 1946*).⁶ For the purposes of this investigation, the historic map illustrates and exemplifies the general undeveloped character of the ranch lands in the Santa Clarita Valley area during the early to mid-19th century period.⁷ The map depicts a single building, clusters of oak trees, tight canyons, and creeks. The Spanish map labels are translated as:

- A. Casa del Rancho (Ranch House)
- B. Cañada de Castéc (Castaic Canyon)
- C. Cañada de los Alamos (Poplar Canyon)
- D. Cañada de los Robles (Oak Canyon)
- E. Cañada de la Soledad (Canyon of Solitude)
- F. Cañada de los Encinos (Evergreen Oak Canyon)
- M. Cañada de San Martin (St. Martin Canyon)
- P. Cañada de Camulis (Camulus, Camulos — Juniper Canyon)

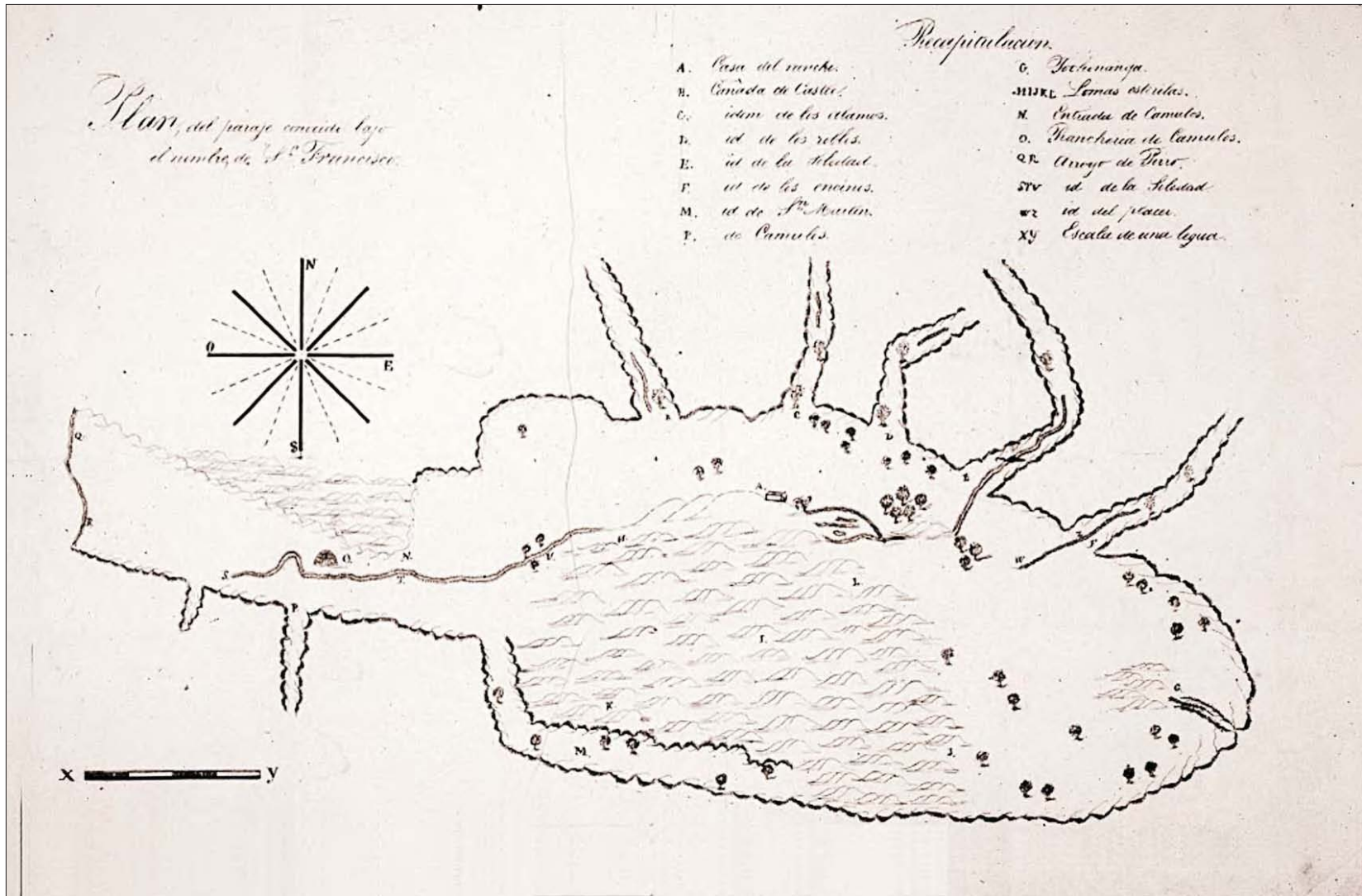
- G. Tochananga [Tataviam Indian village]
- Hijkl. Lomas Esterilos (Sterile Hills)
- N. Entrada de Camulos (Entrance to Camulos)
- O. Rancheria de Camulos (Camulos Ranch)
- QR. Arroyo de Pirro (Piru Creek)
- STV. Arroyo de la Soledad (Creek of Solitude)
- WZ. Arroyo de la Placer (Placerita Creek)
- XY. Escala de una Legua [Scale of the map — from point X to point Y is one league]

The Rancho San Francisco was located approximately one mile west of the western boundary of the Property, probably within the area of the proposed offsite infrastructure improvements, and depicts the open land with few improvements that also characterized the larger surrounding area during the Rancho era.

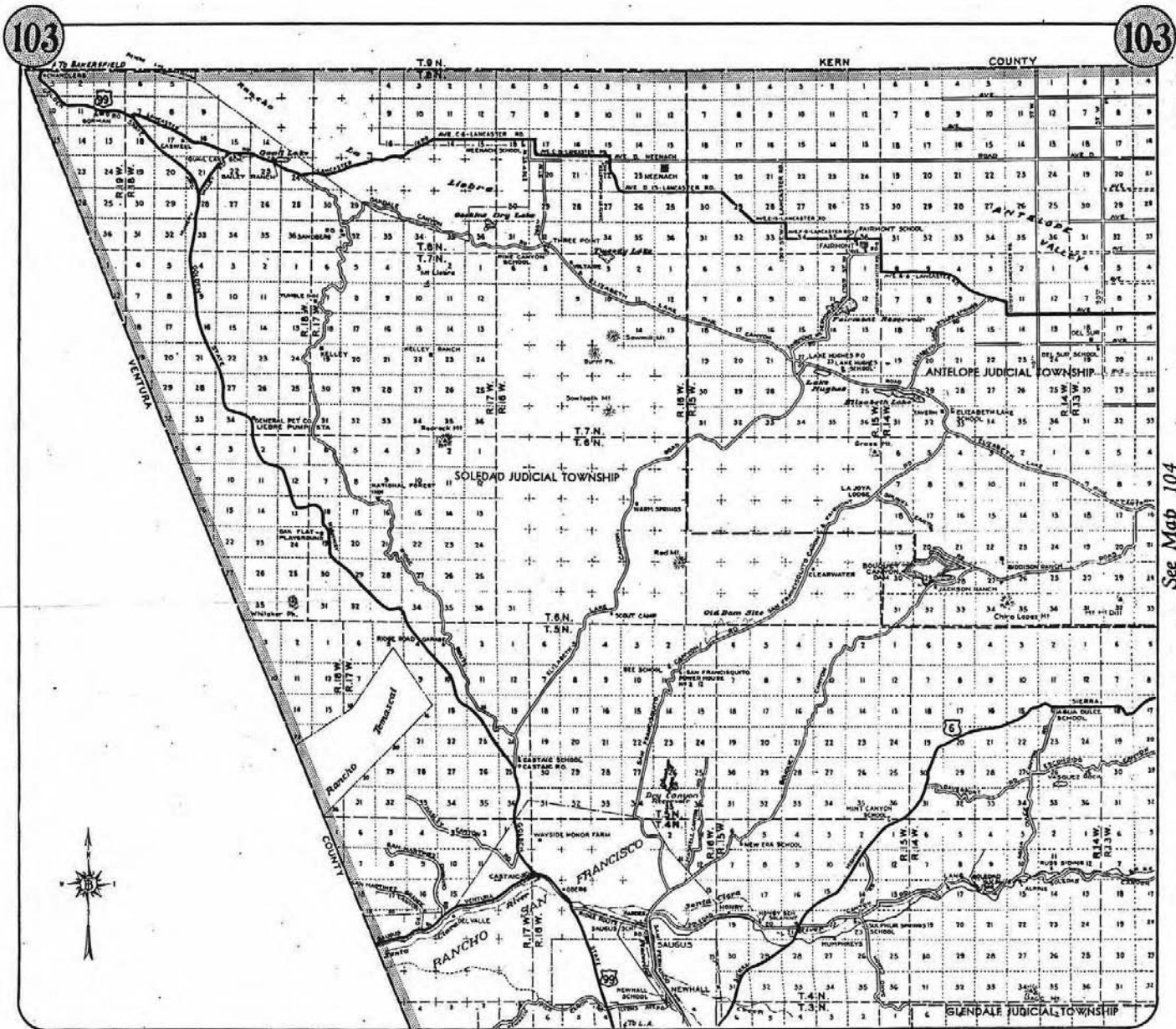
After Del Valle's death, two years after he obtained the Rancho San Francisco in 1841, his son Ignacio Ramon de Jesus Del Valle inherited a portion of the grant. Ignacio Del Valle, however, chose to make his primary residence not at the Rancho but in nearby Los Angeles, where he served a lengthy term as Mayor. He did

⁶ *Thomas Brothers Maps, Los Angeles County Popular Atlas (1946), 103.*

⁷ "Rancho San Francisco Map," *Santa Clarita Historical Society*, <http://www.scvhistory.com/scvhistory/index2.htm>, accessed February 4, 2010.



Rancho San Francisco Map, circa 1843.



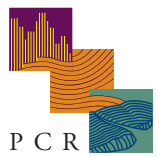
See Map 101

See Map 104

Thomas Brothers Maps showing Rancho San Francisco, circa 1946.

Historic Photograph
 Disney | ABC Studios at The Ranch

Source: Santa Clarita Historic Society.



eventually move to the western portion of the Rancho, called Rancho Camulos, during the 1850s, and lived in an adobe home near Piru.⁸

Nearly a decade of erratic weather – heavy flooding combined with severe droughts – during the 1850s and 1860s created severe difficulties for the area’s ranching and agricultural operations. Many ranches did not survive and were subdivided and sold. Oil speculators stepped in to purchase many of the heavily indebted ranch lands. In the early 1860s, the Del Valle property was sold for back taxes. In 1875, Henry Mayo Newhall, a businessman who bought many of the area’s former Mexican land grants in the hope of striking oil, purchased the land. In 1883, after Newhall’s death, his descendants established the Newhall Land and Farming Company. Decades later this company would develop a master plan for and build the community of Valencia on a portion of the company’s vast land holdings.⁹

The canyon landscape during the 19th century is depicted in a historic photo of Placerita Canyon, circa 1898, which serves to generally characterize its undeveloped appearance during the majority of the 19th century. In addition to cattle ranching, other livestock, including sheep as well as horses, may have been kept in the area. The photo shows the canyon lined with large oaks and filled with sheep grazing along a water source (**Figure 9, Sheep Herd in Placerita Canyon, circa 1898**).

No written descriptions, historic photographs or maps were found that are directly associated with the Property or the Development Area during this era. No evidence was found, either documentary or physical, to indicate that any permanent settlements or cultural landscape features, other than possibly an old trail, were located on the Property during this era.

C. GOLD DISCOVERY (1842 – 1848)

The period of significance associated with gold discovery in the area begins with the date gold was discovered in 1842 and ends when the finds were exhausted in 1848.

Gold mining in the vicinity of the Property ceased over a century ago. However, the history of the 1842 gold discovery is well-documented in local folklore and history. No documentation was found that definitively links the Property or the Development Area with the gold discovery. Nonetheless, the Property retains a historical association with the discovery as it is reputed to be the home of the “Oak of the Golden Dream” under which gold was first found in Placerita Canyon. However, this designation has also been given to several other trees in Placerita Canyon, with the State of California officially designated “Oak of the Golden Dream” being a tree located at the nearby Placerita Canyon Nature Center.¹⁰ The oak in question on the Property is at least a half mile east of the Development Area and would not be impacted by the Proposed Project.

Whether or not the actual “Oak of the Golden Dream” exists on the Property, it is well known that gold mining activities took place in Placerita Canyon. Several unverified reports suggest Placerita Canyon was already a well-known source for gold in the years prior to its official discovery in 1842. These reports

⁸ Darryl Manzer, “Evolution of the Local Rancho,” *Old Town Newhall Gazette* (March-April 2006).

⁹ Leon Worden, “Prime Valencia Real Estate, \$2 an Acre,” *Santa Clarita Valley Historical Society* (June 7, 1995).

¹⁰ *Oak of the Golden Dream, Placerita Canyon Nature Center, State Historic Landmark #168.*

include references to the Los Padres mine as early as the 1790s and other undocumented gold discoveries from the early 1830s. On March 9, 1842, Francisco Lopez, Manuel Cota and Domingo Bermudez found gold in Placerita Canyon under a large oak tree, nicknamed the Oak of the Golden Dream, and filed a claim with the Governor of California shortly thereafter. This claim thus predates the well-known 1848 Sutter Mill claim by six years.¹¹ While the details of the discovery may never be known, the news of the gold discovery quickly reached the New York Observer, which reported in 1842:

*They have at last discovered gold, not far from San Fernando, and gathered pieces of the size of an eighth of a dollar. Those who are acquainted with the "placeras," as they call them, (for it is not a mine) say it will grow richer, and may lead to a mine. Gold to the amount of some thousands of dollars has already been collected.*¹²

Many accounts of the legend suggest that Francisco Lopez stumbled upon the discovery while working as a ranch hand. However, at the time of the discovery, Lopez had already obtained a degree in mining from the University of Mexico and may have been systematically exploring Placerita Canyon for gold deposits.¹³ News of the find spread rapidly and an estimated 2,000 miners, primarily from Sonora, Mexico, worked Placerita Canyon for the next several years. By 1848, the find was exhausted, having yielded 125 pounds of gold.¹⁴

While no 19th century documents were found to verify this oral history, tax assessor maps from 1902-1910 and 1926-1932 indicate the location of the Montezuma Place Mining Claim. Additionally, the Placerita Mining, Milling, and Water Company was listed on assessor maps from 1902-1910. Both holdings were located within the existing Property, indicating its past association with mining activities. It is very likely the setting of the Property and the surrounding area experienced a dramatic shift as the gold rush brought an estimated 2,000 miners to this undeveloped area. Even if it was not directly associated with gold recovery operations, the Property very likely experienced effects of these operations in the form of temporary tent cities along with the installation of corrals, wells, roads and pathways as well as the use of gold recovery machinery typical of the mid-19th century period. It is also likely that this infrastructure was quickly dismantled or abandoned as the find was exhausted. An intensive pedestrian survey of the area by PCR architectural historians and archaeologists found no existing evidence of historic gold mining activities on the Property.

D. HISTORY OF PROPERTY OWNERSHIP

Property ownership research conducted by PCR utilized physical evidence, published local history, oral history, historic tract maps and assessor records to document the history of property ownership and construction of existing ranch resources located within the contemporary boundaries of the Property.

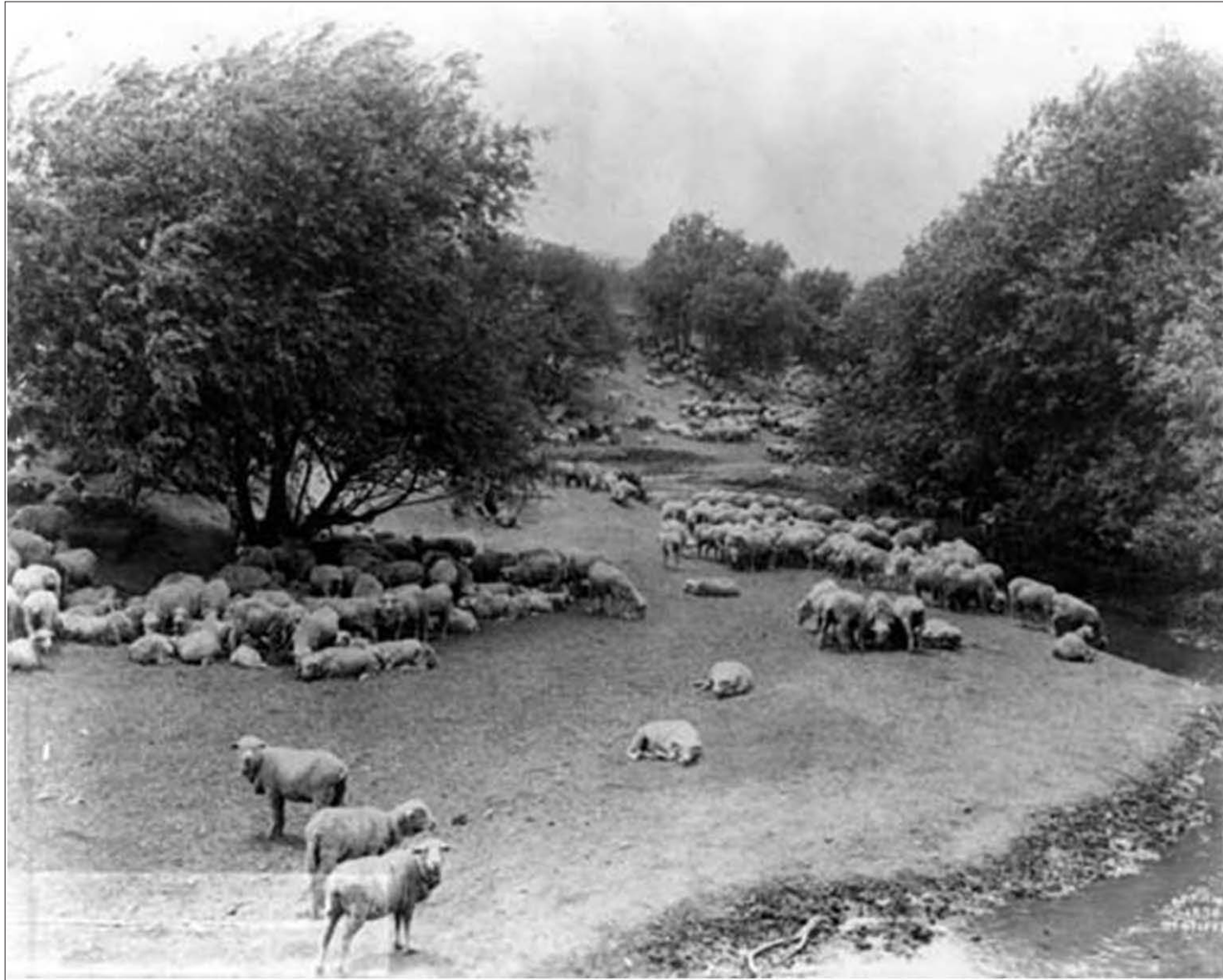
Assessor records and oral history indicate construction dates of existing buildings on the Property range from the early 1900s to the mid-1940s. Historic assessor maps and deeds were consulted to document the

¹¹ Gene Sherman, "Landmarks of L.A." *Los Angeles Times* (May 28, 1950).

¹² Sidney Morse, "California Gold" *New York Observer* (October 1, 1842).

¹³ Alan Pollack, "Placerita Gold History at the Saugus Train Station," *Santa Clarita Valley News* (August 13, 2007).

¹⁴ Arthur B. Perkins, "The Story of Our Valley: The History of the Santa Clarita Valley, The Crossroads of Southern California, and Other Works," originally published in the *Newhall Signal and Saugus Enterprise* (Santa Clarita Historical Society, 1954).



Sheep Herd in Placerita Canyon, circa 1898.

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ownership of the Property beginning in 1902. The following assessor tract maps archived at the Los Angeles County Hall of Records were reviewed to determine past Property ownership: 1902-1910, 1911-1919, 1919-1926, 1926-1932, 1939-1946, 1947-1951, 1952-1956, 1957, and 1962. The contemporary boundary of the Property was based upon a list of assessor parcel numbers taken from a 2009 title report: 2848-009-020; 2848-010-020; 2848-010-016; 2848-010-018; 2848-010-019; 2848-009-021; 2848-010-015; 2848-019-008; 2848-019-009; 2848-019-010; 2848-019-011; 2848-009-029; 2848-009-023; 2848-009-030; 2848-009-037; 2848-009-038; 2848-019-012; 2848-019-013; 2848-009-022; 2848-018-012; and 2848-018-014.¹⁵ A table of the various property owners from 1902 to 1962 is provided in Appendix A. The table provides a summary of documented owners associated with the Property and parcel numbers identifying their respective parcels, if available. The boundaries on current assessor maps of the Property differ from the historic maps because the parcel boundaries changed over time and parcels were not systematically numbered. These changes make it difficult to pinpoint the exact owners of parcels.

The earliest historical assessor map on file is from 1902 to 1910 and indicates the Property was already subdivided. The owners indicated on these early twentieth century assessor maps were predominantly oil companies and private individuals, including E.A. and D.L. Clampitt; Isaac Gibbs; Alexander Protsman; Banner Oil Company; Standard Oil Company; Freeman and Nelson White Oil Company; and Placerita, Mining, Milling, and Water Company. The historical assessor maps from 1910 to 1962 illustrate there were a variety of property owners and land changed ownership often. The major landholders of the Property during the twentieth century were Isaac Gibbs (1902-1926), Edwin Sutton (1902-1960), Elizabeth Leihly (1911-1939), Frank T. Enright (1926-1963), Charles T. Heil (1932-1939), Gertrude Lackie (1932-1964), Degen (1939-1959), William C. Gaffers (1939-1955), and Lloyd Earl (1945-1959).

Beginning in the mid-1950s, Walt Disney Productions leased land located within the boundaries of the Property for filming the ‘Spin and Marty’ segments that appeared on the Mickey Mouse Club. In March 1959, Walt Disney Productions purchased the property from Lloyd R. and Kathleen M. Earl (**Figure 10**, *Property Deed, Lloyd R. and Kathleen M. Earl to Walt Disney Productions, March 11, 1959*).¹⁶ Over the years, the initial boundaries of the Disney property have expanded as the Company purchased land both in Placerita Canyon and along the surrounding buffer ridges in order to preserve the Property’s scenic views and quiet setting.¹⁷ From 1959 to 1964, Disney purchased land from Charles R. and Gladys H. Warfel, Edwin R. and Hazel P. Sutton, Socony Mobile Oil Company, Standard Oil Company, Esther Kampf, Susanne Lindahl, Francis T. and Mary A. Enright, and Raymond D. and Blanche K. Lackie.¹⁸

E. TWENTIETH CENTURY RANCHING, 1902-1996

According to assessor record research, historic aerial maps, and oral history, there are three extant resources associated with the Early Twentieth Century Ranching period on the property. Assessor records revealed the Ranch House was constructed circa 1913 and another Ranch House was constructed circa 1920. According to oral history, the Ragwing Barn was constructed circa 1920 and was later enclosed during the

¹⁵ First American Title Insurance Company. *Golden Oak Ranch Title Report, Disney ABC Studios at the Ranch – Vacation of Delden Road (September 10, 2009)*.

¹⁶ “Make Believe Land is Ranch Near Newhall,” *Los Angeles Times* (November 11, 1973).

¹⁷ Communication, Steve Sligh, Golden Oak Ranch (May 2008).

¹⁸ *County of Los Angeles Assessor’s Maps (1902-1962)*.

1980s for a film production.¹⁹ Other types of ranching features most likely present on the Property during this period would have included fencing, corrals, barns and breeding facilities, storage buildings, possibly additional dwellings, wells, hayfields, pasture, original roads, footpaths and plantings.

Documents or photographs that depict either the plan of the Property or information regarding the individual buildings that existed during this period are limited. Historic aerial photographs depict the western portion of the Property from 1928 to 1994. The Historic Aerial Maps and Topographic Maps are provided in Appendix B. The earliest resource visible on the 1928 historic aerial maps is the circa 1920 Ranch House constructed in the western portion of the Property. The original owners of the 1913 Ranch House, 1920 Ranch House, and Ragwing Barn could not be accurately documented through property research and are unknown. Of known owners, those most likely associated with these resources were Isaac Gibbs (1902-1926), Edwin Sutton (1902-1960), or Elizabeth Leihly (1911-1939). Biographical research was conducted for these owners, but no information was uncovered about these individuals.

A known ranch operation historically associated with Twentieth Century Ranching on the Property is the Jauregui Ranch (1928-1996) that is said to have comprised the Property's western portion.²⁰ Andy Jauregui initially leased land from Standard Oil Company near what is now State Route 14 in 1928 and appears to have remained a tenant, as property ownership research did not find any references to Mr. Jauregui. Golden Oak Ranch Properties, the Disney company to which all other Ranch property had been transferred, purchased the Jauregui Ranch in 1996.²¹ Prior to that time, the remnants of the Jauregui Ranch included several barns and outbuildings as well as a rodeo arena, most of which had been dismantled before Disney purchased the property.²²

F. MID-TWENTIETH CENTURY EQUESTRIAN USE (1939-1955)

By the mid-twentieth century, large parcels of land that traditionally supported ranching and film production uses in Placerita Canyon were increasingly rare, in part due to the burgeoning Los Angeles metropolitan area that made the area's open lands increasingly attractive for new residential development. Some large ranches like the Walker Ranch,²³ located to the east of the Property, and the William S. Hart Ranch in Newhall, were subdivided and sold for public parks.

There are two extant resources -- a Barn and Stables (circa 1940) -- on the Property that are associated with Mid-Twentieth Century Equestrian Use. As with the other ranch operations on the Property, no documents or photographs were located that depicts either the plan of the Property or its individual buildings during the 1940s.

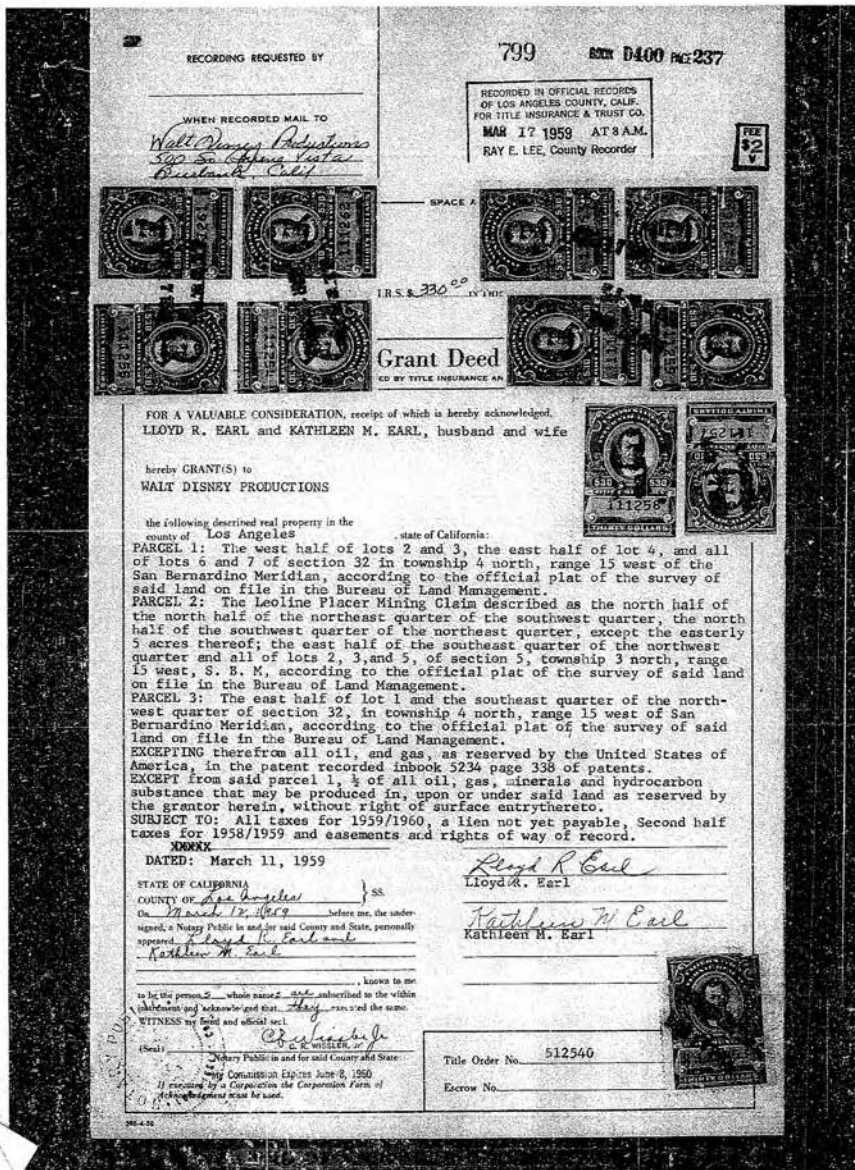
¹⁹ *Communication, Steve Sligh, Golden Oak Ranch (May 2008).*

²⁰ *Ibid.*

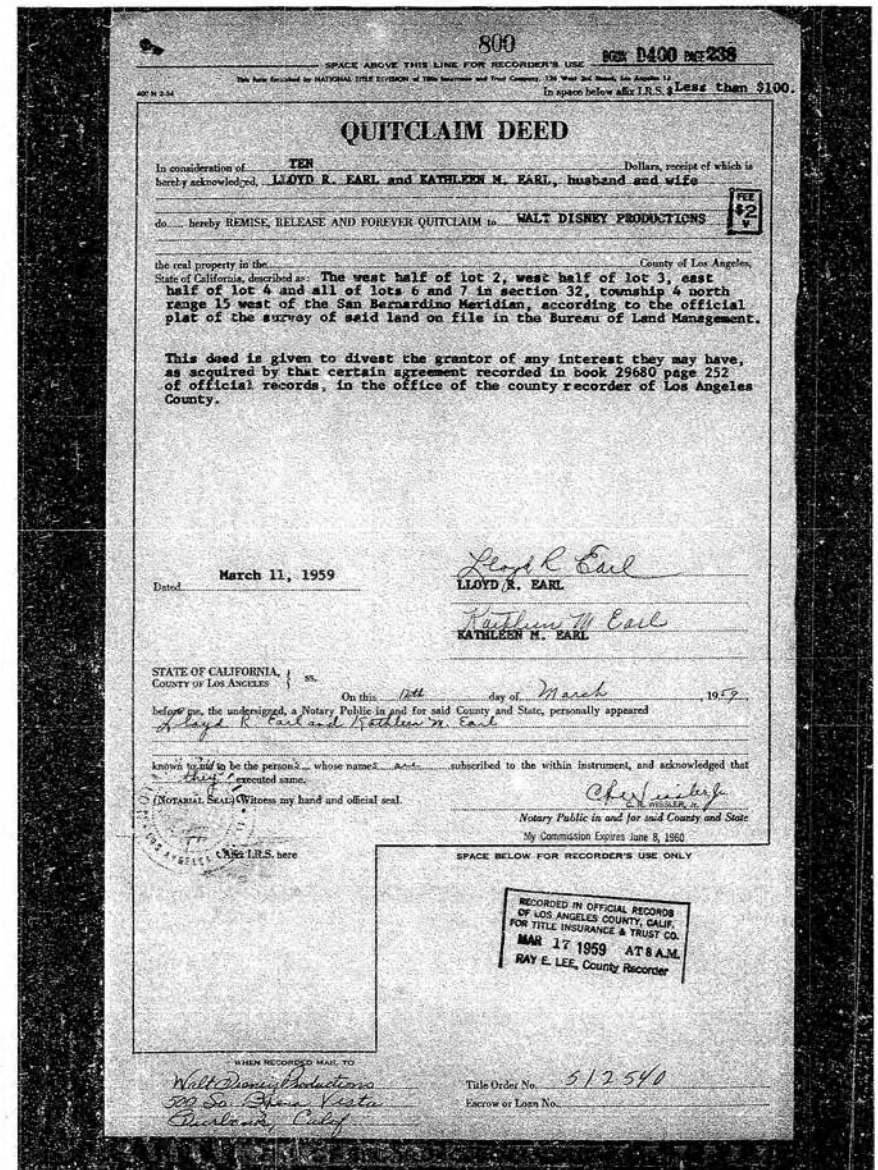
²¹ *Ibid.*

²² *Ibid.*

²³ *Frank Walker built a cabin for his family in Placerita Canyon around 1918 and established the Walker Ranch (ca. 1918-1959), which according to tract history research was located in the area now encompassed by the Placerita Canyon Nature Center. In 1959, the last 288 acres of the Walker Ranch were acquired by the State of California to expand the Placerita Canyon Nature Center. See Dick Main, "Sale of Placerita Ranch Snips Historic Gold Link," Los Angeles Times, October 13, 1959.*



Property Deed, Lloyd R. and Kathleen M. Earl to Walt Disney Productions, March 11, 1959, Page 1.



Property Deed, Lloyd R. and Kathleen M. Earl to Walt Disney Productions, March 11, 1959, Page 2.

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Historical research suggests the ranch owner most likely associated with the Mid-Twentieth Century Equestrian Use on the property may have been W.C. Gaffers, who was listed on assessor maps as the owner of parcels within the Property circa 1939 until 1955. William C. Gaffers was a principal of the early twentieth century stove manufacturer, Gaffers & Sattler.²⁴ Articles on horse racing from the 1930s and 1940s refer to a “Gaffers & Sattler” race horse breeding facility located either “near Newhall” or in Placerita Canyon, but do not provide any more specific information regarding its location.²⁵ Jack Sattler, the other principal of Gaffers & Sattler and an organizer of the California Turf Foundation, was also actively involved in racing. No documentation was found that linked Sattler to the Property. Gaffers’ 1946 obituary indicates he was the sole owner of the breeding facility.²⁶

It is not clear whether the breeding facility mentioned in the horse racing articles was located in the existing barn and stables on the Property. According to assessor’s record research, it appears that Gaffers owned a parcel in the western portion of the Property. Furthermore, research on horse racing and breeding did not uncover any evidence to suggest the Gaffers & Sattler breeding facility was important or influential during the 1939-1955 period when Gaffers owned land within the Property. Even though well-known stallions of the day, such as *Ever Bubbling* and *Top Row*, were cited as residing at the Gaffers & Sattler facility,²⁷ there is no evidence in the published record to suggest the Gaffers & Sattler breeding and racing operations made a significant contribution to historical patterns or trends in animal husbandry or horse racing.

G. OIL EXPLORATION (1876 – PRESENT)

Oil exploration is a notable aspect of the area’s setting to the present day. The period of significance for oil exploration begins with the establishment of numerous oil exploration activities in the vicinity after the big strike in Mentryville in 1876 and continues until the present.

The Santa Clarita Valley is rich in oil either as surface seeps or underground deposits. As early as 1850, the San Fernando Mission documented its use of “burning oil” obtained from their lands near Castaic. In 1876, the state’s first commercially successful oil well was established in nearby Mentryville. Shortly thereafter, the state’s first oil refinery was established in Newhall.²⁸

Oil exploration and recovery activities are a common sight today and one can spot numerous oil recovery operations on the hillsides along State Route 14. In 1900, speculator Herman Mosher established the New Century well in Placerita Canyon. Despite the oil wealth generated in the area at large, Mosher yielded no discoveries of magnitude in Placerita Canyon.

The discovery of “white oil” is a part of the history of oil exploration in Placerita Canyon. The Canyon is distinguished as a source of white oil, an unusually clear form of crude. White oil is a rare geological phenomenon that appears sporadically in limited quantities. It is approximately 83 percent gasoline and, as a result, is so pure that it is possible to gather it directly from surface seeps and feed it into car engines.

²⁴ Communication, Steve Sligh, *Golden Oak Ranch* (May 2008).

²⁵ “Looking Over the Barns at Santa Anita,” *Los Angeles Times* (Dec. 28, 1940).

²⁶ “Industrialist Gaffers Dies,” *Los Angeles Times* (Dec. 30, 1946).

²⁷ *Ibid.*

²⁸ De Gal, Norinne, “Placerita ‘White Oil’: A Crude Wonder,” *The Newhall Signal* (February 20, 2000).

While speculation in white oil did occur within Placerita Canyon, no substantial market for the substance ever developed.²⁹

Historical assessor maps from 1902 to 1910 indicate oil companies owned parcels within the current Property boundary. These oil companies include the Standard Oil Company (listed from 1902 to 1957 on assessor maps), Banner Oil Company (listed from 1902 to 1946 on assessor maps), Freeman White Oil Company (listed from 1902 to 1926 on assessor maps), Republic Petroleum Company (listed from 1919 to 1932 on assessor maps), Placerita Mining, Milling, and Water Company (listed from 1902 to 1910 on assessor maps), Cascade Oil Company (listed from 1919 to 1926 assessor maps), General Petroleum Company (listed from 1926 to 1956 on assessor maps), York Oil (listed from 1952 to 1957 on assessor maps), and Socony Mobil Oil Corporation (listed on 1957 assessor maps).

No images definitively identifiable as the Property or the Development Area were located that document this era; however, several images of early oil exploration activities were found (**Figure 11**, *Herman Mosher and unidentified youth, New Century Oil Well, Placerita Canyon circa 1900*). As with gold discovery activities, most structures within this context were most likely intended for temporary uses and few permanent structures appear to have been constructed during the period of significance. No physical evidence associated with this context appears to remain in the areas of the Property surveyed by PCR.

Given the often temporary nature of structures erected for oil recovery operations, few if any resources are extant today. Oil exploration has a lengthy period of significance (1876 – present) as a historic and contemporary use of the Property. While abundant in the surrounding area, it had a limited influence on the Property and no potentially eligible historic resources that are associated with this historic context were identified.

H. TRANSPORTATION (1953-1957)

The period of significance associated with Transportation on the Property is circa 1953-1957 when Los Angeles County improved Placerita Canyon Road between the Sierra Highway and Sand Canyon Road.³⁰ Placerita Canyon Road is not visible on the 1950 historic aerial and appears on the 1960 historic aerial. As a result of the Placerita Canyon Road improvement, the Arroyo Stone Culvert (circa 1957) was constructed. The Arroyo Stone Culvert is constructed from arroyo stones that are a predominant construction material found in other pieces of infrastructure around the Property.

I. FILM PRODUCTION (1928 – PRESENT)

The development of the film industry in nearby Los Angeles has had a lasting influence on both the Property and the larger setting of the Santa Clarita Valley. In the early years of the 20th century, the popularity of the “western” film genre created a need for large sets to represent western towns and, particularly, western landscapes. As early as 1903, the streets of nearby Newhall played a supporting role as a backdrop for numerous silent films.³¹ Placerita Canyon evokes distinctively western scenery, and the Property’s expansive

²⁹ De Gal, Norinne, “Placerita ‘White Oil’: A Crude Wonder,” *The Newhall Signal* (February 20, 2000).

³⁰ “Property Bought for Road Project,” *Los Angeles Times* (October 6, 1957), F18.

³¹ Rock, Carol, “Big Screen, Big Valley: First Used for Filming in 1903, the Santa Clarita Valley Continues to Thrive as a Movie-Making Mecca,” *The Newhall Signal* (February, 7, 1994).



Herman Mosher and unidentified youth, New Century Oil Well, Placerita Canyon, circa 1900.

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views and lush valleys made it a natural choice for filming when representations of wide and open spaces were required.

The period of significance for film production activities begins with the year that film production appears to have started on the Property, circa 1928, and continues to the present. During this era, the Property was certainly in the midst of numerous film production activities, if not directly involved in them. Many local ranches participated in the emerging film industry by providing locations for filming while continuing their daily operations as working ranches. In 1928, the adjacent Walker Ranch to the east of the Property offered land for use in filming at the rate of \$5/day. That same year, Placerita Canyon rancher, Andy Jauregui, leased property from Standard Oil which included the western portion of the Property. By 1929, the Jauregui Ranch was a sought-after film setting and, in 1931, a feature length production, "Freighters of Destiny" was filmed there. In the early 1930s, Monogram Pictures' Ernie Hickson established the Monogram Ranch on portions of the Property and constructed a Western town movie set. The Monogram Ranch became a top spot for numerous western films. When Monogram Pictures' lease expired, they moved their entire Western town set to a 10-acre site in Placerita Canyon, just west of the Property. Between the 1930s and 1960s, the Western town set was the site for many important Western films including the seminal *High Noon*, which is considered one of the best of the genre. Along with the location shoots came the associated high-profile roster of stars, such as John Wayne, Gene Autry, Hopalong Cassidy, Mae West, Roy Rogers, and Glenn Ford. After Hickson's death in 1952, Gene Autry purchased the Monogram property and the surrounding 100 acres and renamed it Melody Ranch; however, a fire in 1962 destroyed over 17,000 acres of Placerita Canyon and hampered the use of Melody Ranch as a set location.³² Most of the original Western town set was destroyed. The Western town set was recently rebuilt and is currently used for Western-themed films.

Several images of early film production activities were found (**Figure 12**, *Film Production in Placerita Canyon, circa 1929, and Andy Jauregui and William S. Hart, Jauregui Ranch, 1939*). As the Jauregui Ranch functioned as a "real" and "reel" ranch, the physical characteristics related to ranch activities were likely unchanged during this period. New elements introduced as a result of film production activities may have included storage and set construction sheds, sets, roads, and the use of undeveloped ranch lands for location shoots. Except for some of the elements of the Property related to its landscape setting, no physical evidence (buildings, structures, sets) associated with the early period of film production activities remains on the Jauregui ranch portion of the Property.

Beginning in the mid-1950s, Walt Disney Productions leased land located within the boundaries of the Property for filming the 'Spin and Marty' segments that appeared on the Mickey Mouse Club. In March 1959, Walt Disney Productions purchased the property from Lloyd R. and Kathleen M. Earl.³³ From 1959 to 1996, the initial boundaries of the Disney property have expanded as the company purchased land both in Placerita Canyon and along the surrounding hillsides in order to preserve the property's scenic views and quiet setting.³⁴

Today, the Property is distinguished by film production activities that were once commonplace in Placerita Canyon. It has served as the setting for numerous feature films and television shows, including "Lassie,"

³² Rock, Carol, "Big Screen, Big Valley: First Used for Filming in 1903, the Santa Clarita Valley Continues to Thrive as a Movie-Making Mecca," *The Newhall Signal* (February, 7, 1994).

³³ "Make Believe Land is Ranch Near Newhall," *Los Angeles Times* (November 11, 1973).

³⁴ Communication, Steve Sligh, Golden Oak Ranch (May 2008).

“Mame,” the “Apple Dumpling Gang,” “Rhinestone,” the “A-Team,” and the “Dukes of Hazzard.”³⁵ The Property’s tradition of film production continues today as it presently accommodates a full roster of film production activity.³⁶ There are numerous existing temporary sets and settings associated with these film production activities, although given the temporary and utilitarian nature of these elements, the existing sets do not convey significant associations with this historic theme. Furthermore, most of the Development Area is comprised of two large fill pads deposited during construction of State Route 14 in the early 1970s. Given the existence of these fill pads and the transmission line corridor owned by the Los Angeles Department of Water and Power over which power lines were erected in 1981, running north to south along the western portion of the Property, most of the Development Area is not used as a filming backdrop.

³⁵ *Famouslocations.com. “Golden Oak Ranch” http://www.famouslocations.com/content/L_Golden_Oak_Ranch (June 17, 2008).*

³⁶ *Communication, Steve Sligh, Golden Oak Ranch (May 2008).*



Film Production in Placerita Canyon, circa 1929.



Andy Jauregui and William S. Hart, Jauregui Ranch, 1939.

**Historic Photograph
Disney | ABC Studios at The Ranch**

Source: Santa Clarita Historic Society.

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III. REGULATORY SETTING AND EVALUATION CRITERIA

Historic resources fall within the jurisdiction of several levels of government. Federal laws provide the framework for the identification, and in certain instances, protection of historic resources. Additionally, states and local jurisdictions play active roles in the identification, documentation, and protection of such resources within their communities.

Numerous laws and regulations require federal, state, and local agencies to consider the effects of a proposed project on cultural resources. These laws and regulations stipulate a process for compliance, define the responsibilities of the various agencies proposing the action, and prescribe the relationship among other involved agencies (e.g. State Historic Preservation Office and the Advisory Council on Historic Preservation). The National Historic Preservation Act (NHPA) of 1966, as amended, the California Environmental Quality Act (CEQA), the California Register of Historical Resources, Public Resources Code (PRC) section 5024, and Chapter 3.30 of the Los Angeles County Code are the primary laws governing and affecting preservation of historic resources of national, state, and local significance. A description of these laws and regulations is provided below.

In analyzing the historic significance of properties located within the survey study area, the criteria of significance for designation under federal, state, and local landmark programs were considered and applied. These criteria are quite consistent from agency to agency and in some instances are virtually duplicative. Additionally, the state Office of Historic Preservation (OHP) survey methodology and instructions were used to evaluate the relative significance of properties.

The Property is not currently designated as a historic resource at the federal (National Register of Historic Places), state (California Register of Historical Resources), or local level (by Los Angeles County).

A. FEDERAL LEVEL

First authorized by the Historic Sites Act of 1935, the National Register of Historic Places (National Register) was established by the National Historic Preservation Act of 1966, as “an authoritative guide to be used by Federal, State, and local governments, private groups and citizens to identify the Nation's cultural resources and to indicate what properties should be considered for protection from destruction or impairment.”³⁷ The National Register recognizes properties that are significant at the national, state, and local levels.

1. National Register of Historic Places Criteria

To be eligible for listing in the National Register, a resource must be significant in American history, architecture, archaeology, engineering, or culture. Districts, sites, buildings, structures, and objects of

³⁷ *Code of Federal Regulations (CFR), 36 § 60.2.*

potential significance must also possess integrity of location, design, setting, materials, workmanship, feeling, and association. Four criteria have been established to determine the significance of a resource.³⁸

- A. It is associated with events that have made a significant contribution to the broad patterns of our history;
- B. It is associated with the lives of persons significant in our past;
- C. It embodies the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or
- D. It yields, or may be likely to yield, information important in prehistory or history.

A property eligible for the National Register must meet one or more of the above criteria. In addition, unless the property possesses exceptional significance, it must be at least fifty years old to be eligible for National Register listing. However, the National Register does not prohibit the consideration of properties less than fifty years in age whose exceptional contribution to the development of American history, architecture, archaeology, engineering, and culture can be clearly demonstrated.

As defined in *National Register Criteria Consideration G: Properties that have Achieved Significance Within the Past Fifty Years*, a property achieving significance within the past fifty years is eligible only if it is of *exceptional importance*, or if it is an integral part of a district that is eligible for listing in the National Register.³⁹ The explanation of the guideline is as follows: Fifty years is a general estimate of the time needed to develop historical perspective and to evaluate significance. Criteria Consideration G guards against the listing of properties of passing contemporary interest and ensures that the National Register is a list of truly historic places.⁴⁰ Properties that are less than fifty years old must meet Criteria Consideration G, as must “a property that continues to achieve significance into a period less than 50 years before the nomination.” Both of these conditions apply to such a property for National Register evaluation purposes.

In addition to meeting the criteria of significance, a property must also have integrity. “Integrity is the ability of a property to convey its significance.”⁴¹ According to the *National Register Bulletin*, the National Register recognizes seven aspects or qualities that, in various combinations, define integrity. To retain historic integrity, a property will always possess several, and usually most, of these seven aspects. Thus, the retention of the specific aspects of integrity is paramount for a property to convey its significance.⁴² The seven factors that define integrity are location, design, setting, materials, workmanship, feeling, and association. The following is excerpted from the *National Register Bulletin, How to Apply the National*

³⁸ *How to Complete the National Register Registration Form, National Register Bulletin, U.S. Department of Interior, National Park Service, 1997. This bulletin contains technical information on comprehensive planning, survey of cultural resources and registration in the National Register of Historic Places.*

³⁹ *National Register Bulletin: Guidelines for Evaluating and Nominating Properties that have Achieved Significance Within the Past Fifty Years (U.S. Department of the Interior, National Park Service, 1979, Revised 1990, 1996, 1998).*

⁴⁰ *Ibid.*

⁴¹ *How to Apply the National Register Criteria for Evaluation, National Register Bulletin (U.S. Department of Interior, National Park Service, 1997), 44.*

⁴² *Ibid.*

Register Criteria for Evaluation, which provides guidance on the interpretation and application of these factors:

- Location is the place where the historic property was constructed or the place where the historic event occurred.⁴³
- Design is the combination of elements that create the form, plan, space, structure, and style of a property.⁴⁴
- Setting is the physical environment of a historic property.⁴⁵
- Materials are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property.⁴⁶
- Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.⁴⁷
- Feeling is a property's expression of the aesthetic or historic sense of a particular period of time.⁴⁸
- Association is the direct link between an important historic event or person and a historic property.⁴⁹

In assessing a property's integrity, the National Register criteria recognize that properties change over time, therefore, it is not necessary for a property to retain all its historic physical features or characteristics. The property must retain, however, the essential physical features that enable it to convey its historic identity.⁵⁰

For properties which are considered significant under National Register Criteria A and B, the *National Register Bulletin, How to Apply the National Register Criteria for Evaluation* states that a property that is significant for its historic association is eligible if it retains the essential physical features that made up its

⁴³ "The relationship between the property and its location is often important to understanding why the property was created or why something happened. The actual location of a historic property, complemented by its setting is particularly important in recapturing the sense of historic events and persons. Except in rare cases, the relationship between a property and its historic associations is destroyed if the property is moved." *Ibid.*

⁴⁴ "A property's design reflects historic functions and technologies as well as aesthetics. It includes such considerations as the structural system; massing; arrangement of spaces; pattern of fenestration; textures and colors of surface materials; type, amount, and style of ornamental detailing; and arrangement and type of plantings in a designed landscape." *Ibid.*

⁴⁵ *Ibid.*, p.45.

⁴⁶ "The choice and combination of materials reveals the preferences of those who created the property and indicated the availability of particular types of materials and technologies. Indigenous materials are often the focus of regional building traditions and thereby help define an area's sense of time and place." *Ibid.*

⁴⁷ "Workmanship can apply to the property as a whole or to its individual components. It can be expressed in vernacular methods of construction and plain finishes or in highly sophisticated configurations and ornamental detailing. It can be based on common traditions or innovative period techniques." *Ibid.*

⁴⁸ "It results from the presence of physical features that, taken together, convey the property's historic character." *Ibid.*

⁴⁹ "A property retains association if it is the place where the event or activity occurred and is sufficiently intact to convey that relationship to an observer. Like feeling, association requires the presence of physical features that convey a property's historic character. . . . Because feeling and association depend on individual perceptions, their retention alone is never sufficient to support eligibility of a property for the National Register." *Ibid.*

⁵⁰ *Ibid.*, p. 46.

character or appearance during the period of its association with the important event, historical pattern, or person(s).⁵¹

In assessing the integrity of properties, which are considered significant under National Register Criterion C, the *National Register Bulletin, How to Apply the National Register Criteria for Evaluation* provides that a property important for illustrating a particular architectural style or construction technique must retain most of the physical features that constitute that style or technique.⁵²

B. STATE LEVEL

The California Office of Historic Preservation (OHP), as an office of the California Department of Parks and Recreation, implements the policies of the NHPA on a statewide level. The OHP also carries out the duties as set forth in the Public Resources Code (PRC) and maintains the California Historic Resources Inventory and California Register of Historical Resources.⁵³ The State Historic Preservation Officer (SHPO) is an appointed official who implements historic preservation programs within the state's jurisdictions. Also implemented at the state level, CEQA requires the identification of substantial adverse impacts that may affect the significance of identified historical resources through an environmental review process. Further discussion of OHP survey methodology and specific criteria to determine the significance of a resource are provided below.

Created by Assembly Bill 2881 in 1992, the California Register of Historical Resources (California Register) is "an authoritative listing and guide to be used by state and local agencies, private groups, and citizens in identifying the existing historical resources of the state and to indicate which resources deserve to be protected, to the extent prudent and feasible, from substantial adverse change."⁵⁴ The criteria for eligibility for the California Register are based upon National Register criteria.⁵⁵ Certain resources are determined by the statute to be automatically included in the California Register, including California properties formally determined eligible for, or listed in, the National Register.⁵⁶

The California Register consists of resources that are listed automatically and those that must be nominated through an application and public hearing process. The California Register automatically includes the following:

- California properties listed on the National Register of Historic Places and those formally Determined Eligible for the National Register of Historic Places;
- California Registered Historical Landmarks from No. 770 onward;

⁵¹ *Ibid.*

⁵² "A property that has lost some historic materials or details can be eligible if it retains the majority of the features that illustrate its style in terms of the massing, spatial relationships, proportion, pattern of windows and doors, texture of materials, and ornamentation. The property is not eligible, however, if it retains some basic features conveying massing but has lost the majority of the features that once characterized its style." *Ibid.*

⁵³ *California Public Resources Code § 5024.1(a).*

⁵⁴ *Ibid.*

⁵⁵ *California Public Resources Code § 5024.1(b).*

⁵⁶ *California Public Resources Code § 5024.1(d).*

- Those California Points of Historical Interest that have been evaluated by the OHP and have been recommended to the State Historical Commission for inclusion on the California Register.⁵⁷

Other resources that may be nominated to the California Register include:

- Individual historical resources;
- Historical resources contributing to historic districts;
- Historic resources identified as significant in historical resources surveys with significance ratings of Category 1 through 5;
- Historical resources designated or listed as local landmarks, or designated under any local ordinance, such as an historic preservation overlay zone.⁵⁸

1. California Register of Historic Resources Criteria

To be eligible for the California Register, a historic resource must be significant at the local, state, or national level, under one or more of the following four criteria:

1. Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage;
2. Is associated with the lives of persons important in our past;
3. Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or
4. Has yielded, or may be likely to yield, information important in prehistory or history.

Additionally, a historic resource eligible for listing in the California Register must meet one or more of the criteria of significance described above and retain enough of its historic character or appearance to be recognizable as a historic resource and to convey the reasons for its significance. Historical resources that have been rehabilitated or restored may be evaluated for listing.⁵⁹

Integrity is evaluated with regard to the retention of location, design, setting, materials, workmanship, feeling, and association. The resource must also be judged with reference to the particular criteria under which it is proposed for eligibility. It is possible that a historic resource may not retain sufficient integrity to meet the criteria for listing in the National Register, but it may still be eligible for listing in the California Register.⁶⁰

⁵⁷ *Ibid.*

⁵⁸ *California Public Resources Code § 5024.1(e).*

⁵⁹ *California Code of Regulations, California Register of Historical Resources (Title 14, Chapter 11.5), § 4852(c).*

⁶⁰ *California Code of Regulations, California Register of Historical Resources (Title 14, Chapter 11.5), § 4852(c).*

C. LOCAL LEVEL

Currently, the County of Los Angeles does not have a comprehensive historical preservation program in place, although limited steps have been taken toward the preservation of the County's historical resources. The County of Los Angeles Historical Landmarks and Records Commission considers and recommends to the Board of Supervisors local Historical Landmarks defined to be worthy of registration by the State of California Department of Parks and Recreation, either as a California Historical Landmark, or as a Point of Historical Interest. The Commission may also comment for the Board on applications relating to the National Register of Historic Places. The Commission was established and has been continued by Board Order pursuant to Chapter 3.30 of the Los Angeles County Code. The Commission Criteria for designation, including significance and access and provision for maintenance, are specified in state law, including the California Public Resources Code, or in regulations and interpretations of the State Historical Resources Commission.⁶¹

D. PREVIOUSLY RECORDED HISTORICAL RESOURCES IN THE PROJECT VICINITY

The historical resources investigation included records searches and review of local histories to determine: (i) if known historical resources have previously been recorded within a 1/2-mile radius of the project site; (ii) if the project site has been systematically surveyed by historians prior to the initiation of the study; and/or (iii) whether there is other information that would indicate whether or not the area of the project site is historically sensitive or may pose indirect impacts to adjacent historic resources. PCR consulted the National Register of Historic Places (National Register), California Register of Historic Places (California Register), California Historic Resources Inventory (HRI), California Points of Historical Interest (PHI), and the California Historical Landmarks (CHL) to determine previously identified historical resources within a 1/2-mile radius of the Development Area and the Property.

There is one California State Historical Landmark within a ½ mile-radius of the Property. The Oak of the Golden Dream, California State Historical Landmark Number 168, is located in the adjacent Placerita Canyon State and County Park. The landmark is officially where Francisco López made California's first authenticated gold discovery on March 9, 1842. This Historical Landmark is more than a mile east of the Development Area and, accordingly, would not be impacted by the Proposed Project.

There are no properties listed on the National Register, California Register, California Historic Resources Inventory, or California Points of Historical Interest within a ½-mile radius of the Development Area or the Property. Record search results are included in Appendix C.

E. EVALUATION OF SIGNIFICANCE

This section provides a preliminary significance assessment for the Property and the Development Area. PCR conducted a site survey of the entire Property in June 2008 and a survey of the offsite infrastructure improvement areas in March 2010, and identified several buildings and structures that appeared to be over 45 years in age. The location of surveyed resources is shown on Figure 6. Potential resources were evaluated against the federal and state eligibility criteria, provided in Section III above. As noted above, the

⁶¹ *Los Angeles County Board of Supervisors, Historical Landmarks and Records Commission, <http://bos.co.la.ca.us/Rosters/FactSheets/Frame.htm>.*

County of Los Angeles uses the state eligibility criteria to designate historical landmarks or points of historical interest. The assessment used the historical themes and periods of significance developed in Section II. Identified buildings and structures were evaluated both as individual resources and as contributors to a potential historic landscape. In addition, the Property as a whole was evaluated for its potential as a historic landscape.

A total of seven individual buildings, structures, building groups and landscape settings were identified as a result of the site survey and are evaluated below. These include a Ranch House (circa 1913), Ragwing Barn (circa 1920) and Barn and Stables (circa 1940), a Ranch House (circa 1920), a series of Culverts (circa 1950s) constructed of stone masonry, as well as a mature oak tree, temporary sets and outdoor settings associated with film production, and a Guest House (circa 1940). All the above mentioned locations are on the Property; no potential resources were located in the areas of the proposed offsite infrastructure improvements. Following the evaluation of these potential resources below, the Property as a whole is evaluated for its significance as a potential historic landscape.

1. Twentieth Century Ranching

Main Ranch House (circa 1913)

Description. The Arts and Crafts style ranch house is situated in a clearing in the southeastern portion of the Property (**Figure 13**, *Ranch House, circa 1913*). It has a rectangular plan and is constructed of wood frame with vertical non-wood siding. The front facing gable roof is low-pitched with wide eave overhangs. The residence has a full-width deeply recessed front porch with an arroyo stone porch wall. There is a side arroyo stone chimney. The windows are distributed asymmetrically on all elevations. There is a shed with a gable roof and vertical wood siding in the rear yard. Character-defining features include the wood frame construction, low-pitched roof, and deeply recessed front porch, which are typical of Arts and Crafts style residences from the early 20th century. The ranch house is located approximately a quarter mile from the Development Area.

Integrity. Although still identifiable as an early twentieth-century Arts and Crafts style dwelling, due to several modifications and lean-to additions over the years, it does not retain sufficient integrity to be eligible as a good example of an early twentieth century ranch dwelling. The ranch house has several additions to both side elevations and rear and the original windows have been replaced. The Arts and Crafts style ranch house lacks integrity of design, setting, workmanship, materials, feeling and association.

Significance. The dwelling is substantially altered and does not convey its historic associations as one of the primary buildings among many that would have comprised the ranch operations during the Twentieth Century Ranching period of significance, circa 1902 to 1996. The ranch house exists as a remnant of the Twentieth Century Ranching and the dwelling itself is an altered example of an early twentieth century ranch house which does not retain sufficient integrity to be considered potentially eligible as a historic resource. Given the low integrity of both the ranch house and setting associated with the Twentieth Century Ranch era, the ranch house is not potentially eligible as a historic resource.

The ranch house is not potentially significant under Criterion A of the National Register or Criterion 1 of the California Register for its association with a pattern of development of ranching activities in Placerita Canyon (1902-1996). The ranch house likewise is ineligible under Criterion B of the National Register and Criterion 2 of the California Register as it does not convey an association with the productive life of a significant

person. The dwelling is a common and undistinguished example of an early twentieth-century ranch house. The ranch house is substantially altered and does not retain sufficient integrity to convey its significant historical associations with the Twentieth Century Ranching era. Furthermore, the ranch house setting has been compromised and only remnants of the era remain. Thus, the ranch house is not eligible for the National Register under Criterion C or the California Register under Criterion 3. Criterion D of the National Register and Criterion 4 of the California Register are applicable only to archaeological resources, which were not considered as a part of this investigation.

Ranch House (circa 1920)

Description. The rectangular wood-frame, single-story dwelling in the western portion of the Property has board-and-batten siding and is covered by a low-pitched side gable roof with asphalt shingles and overhanging eaves (**Figure 14, Ranch House, circa 1920**). There is an enclosed porch with a shed roof section encompassing the northern front elevation, and a narrow shed-roofed porch. The rear elevation has a brick chimney and wood deck. The windows, while currently covered with plywood, appear to be double-hung sash and are distributed asymmetrically on all elevations. Character-defining features include the wood-frame construction, board-and-batten siding, gable roof, chimney, and sash windows. The shed-roof section and porch as well as the rear wood deck may be later alterations.

Integrity. The dwelling is in poor condition but retains sufficient integrity to be identifiable as an early twentieth-century ranch dwelling in terms of location, design, setting, materials, and workmanship. However, it lacks integrity of setting, feeling and association.

Significance. Due to substantial alterations to its former ranch setting, the dwelling does not convey its historic context as a primary building in a residential and agricultural complex that would have comprised the ranch operations during the Twentieth Century Ranching period of significance of circa 1902 to 1996. As a result, the dwelling exists as a remnant and is not potentially eligible as a historic resource. Given the overall low integrity of the ranch era setting and the fact that the ranch house is a common and undistinguished example of its type, the ranch house is not potentially eligible as a historic resource.

The ranch house is not potentially significant under Criterion A of the National Register or Criterion 1 of the California Register for its association with a pattern of development of early ranching activities in Placerita Canyon. The ranch house likewise is ineligible under Criterion B of the National Register and Criterion 2 of the California Register as it does not convey an association with the productive life of a significant person. The ranch house itself retains integrity, but is a common and undistinguished example of an early twentieth-century ranch dwelling. The associated setting does not retain sufficient integrity to convey its historical associations with the Twentieth Century Ranching era, as only remnants of this era remain. Thus, the ranch house is not eligible for the National Register under Criterion C or California Register under Criterion 3. Criterion D of the National Register and Criterion 4 of the California Register are applicable only to archaeological resources, which were not considered as a part of this investigation.

Ragwing Barn (circa 1920)

Description. The Ragwing barn is situated near the rubble stone dwelling, discussed below, and is of vernacular wood-board and batten construction with a central door and front gable roof (**Figure 15, Ragwing barn, circa 1920**). The barn was originally an open cattle feed barn with a central hay storage aisle with feed manger that paralleled under the barn's eaves. The barn was enclosed as a set circa 1983. The



Ranch House, circa 1913.



Ranch House, circa 1913.



Ranch House, circa 1913.



Ranch House, circa 1913.



Ranch House, circa 1920.



Ranch House, circa 1920.



Ragwing Barn, circa 1920.

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Integrity. The Ragwing Barn appears to be in good condition but retains little integrity with regard to its design, materials, and workmanship. The Ragwing barn is extensively altered. According to oral history, the Ragwing barn was originally of open construction but in-filled with boards for a movie production during the 1980s.

Significance. The barn is a common and undistinguished example of early twentieth-century agricultural architecture and is not potentially eligible as a historic resource. The barn is not potentially significant under Criterion A of the National Register or Criterion 1 of the California Register for its association with a pattern of development of early ranching activities in Placerita Canyon during the Twentieth Century Ranching Era. The barn likewise is ineligible under Criterion B of the National Register and Criterion 2 of the California Register as it does not convey an association with the productive life of a significant person. The barn does not retain integrity and is a common and undistinguished example of early twentieth-century architecture. The barn and surrounding setting do not retain sufficient integrity to convey significant historical associations with twentieth century ranching, as only remnants of twentieth-century ranching resources remain on the Property. Thus, the barn is not eligible for the National Register under Criterion C or the California Register under Criterion 3. Criterion D of the National Register and Criterion 4 of the California Register are applicable only to archaeological resources, which were not considered as a part of this investigation.

2. Mid-Twentieth Century Equestrian Use

Barn and Associated Stables (circa 1940)

Description. The barn and stables, situated near the main ranch house, are of wood frame construction with vertical wood board-and-batten siding (**Figure 16, Barn and Stables, circa 1940**). The barn has a steeply pitched front gable roof, and shed roofs cover the attached stables. Windows are rustic in style and have simple cut openings. A series of additional stables are located a short distance from the barn and are of a similar construction with a flat roof; each stall includes a section of simple wood fence. Features of both the barn and stables include the large size and scale of the complex, the organization and relationship of buildings and spaces, their wood-frame construction, roof shapes, vertical board-and-batten siding, and simple openings. These equestrian buildings are located over a quarter mile from the Development Area and would not be impacted by the Proposed Project.

Integrity. The barn and associated stables appear to be in good condition and retain integrity with regard to their location, design, materials, and workmanship. They are still in use as a barn and stables.

Significance. Despite its integrity as a mid-twentieth-century barn and stables complex, the building group is a remnant of a once larger operation. As it exists today, this building group alone lacks a sufficient contextual setting to convey its associations with horse breeders as one of numerous buildings that would have comprised the ranch and breeding operations during the twentieth century.

Given the barn and stables are common and undistinguished examples of mid-twentieth-century agricultural architecture and the lack of other extant features associated with the mid-twentieth-century period of ownership, the barn and stables complex is not potentially eligible as a historic resource. The barn and stables are not potentially significant under Criterion A of the National Register or Criterion 1 of the California Register for their association with a pattern of development of ranching or equestrian activities in Placerita Canyon during the twentieth century. The barn and stables likewise are ineligible under Criterion

B of the National Register and Criterion 2 of the California Register as they do not convey an association with the productive life of a significant person. While the barn and stable complex retains integrity, it is a common and undistinguished example of mid-twentieth-century architecture. The barn, stables and surrounding setting do not retain sufficient integrity to convey significant historical associations with the Twentieth Century Ranching Era or Mid-Twentieth Century Equestrian Use, as only remnants of these uses remain. Thus, the barn and stables are not eligible for the National Register under Criterion C or the California Register under Criterion 3. Criterion D of the National Register and Criterion 4 of the California Register are applicable only to archaeological resources, which were not considered as a part of this investigation.

3. Mature Oak Tree

The short duration of gold mining activities in Placerita Canyon and the temporary nature of the structures once associated with these activities account for the lack of existing physical features associated with gold discovery. There is a single period of significance that defines the gold discovery era of the Property - Gold Discovery (1842 – 1848) - and no potentially eligible historic resources associated with this historic context were identified as a result of the site survey.

There is a mature oak on the Property with a small plaque identifying it as the Oak of the Golden Dream. Given that another “Oak of the Golden Dream” located nearby at the Placerita Canyon Nature Center is already officially recognized as a State Historic Landmark, the tree on the Property does not have a sufficient level of authenticity or significance to qualify as a potentially eligible historical resource.⁶² In any event, this oak is over a half mile from the Development Area and would not be impacted by the Proposed Project.

4. Film Production Sets and Settings (1928 – present)

The existing outdoor sets and settings that are associated with the film production context are distinct physical landscape settings and their associated features include temporary buildings and outbuildings and landscape elements, such as bridges, fields, and water features. While some of the sets have existed on the Property for some time, most were conceived of as ephemeral creations and were considered temporary. As such, they were constructed for a specific use or effect and in many cases dismantled or altered and reused for another purpose soon thereafter. Given that the constructed sets are temporary by design, the physical characteristics of the landscape settings that are associated with the temporary sets are the most enduring elements of the film production uses of the Property. These landscape settings are comprised of character-defining features that include roads, views, groupings of vegetation, and other natural and man-made elements that are simultaneously key aspects of the various set locations and also help to distinguish them from the larger “natural” setting (**Figure 17**, *Sets at Golden Oak Ranch, June 2008*).

Despite the unique association with numerous film production activities, the individual sets, including their associated temporary structures and surrounding landscapes, are temporary creations and do not have sufficient historical significance or architectural merit to meet the threshold of significance for potential eligibility as historical resources.

⁶² *Oak of the Golden Dream, Placerita Canyon Nature Center, State Historic Landmark #168.*



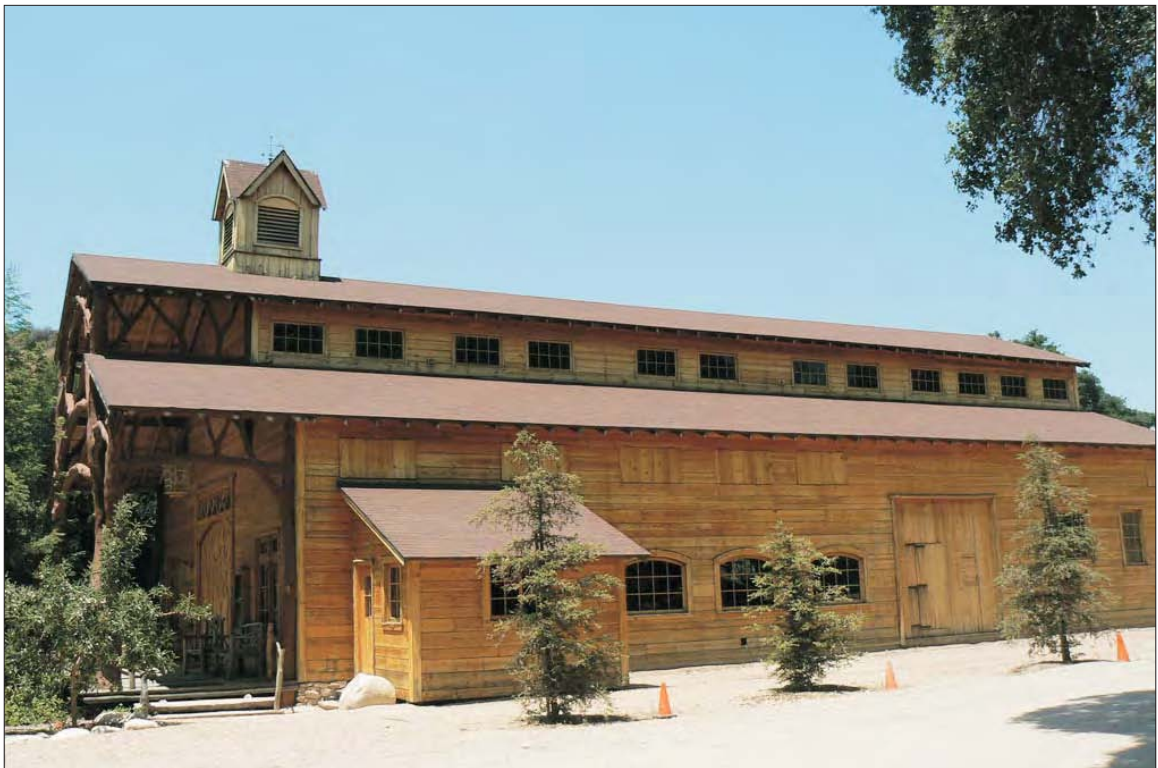
Barn, circa 1940.



Stables, circa 1940.



Sets at Golden Oak Ranch, June 2008



Sets at Golden Oak Ranch, June 2008

**Historic Photographs
Disney | ABC Studios at The Ranch**

Source: PCR Services Corporation, 2008.

Substantial changes to the outdoor sets and settings have occurred over the years during which they have been used for a variety of film production activities. Therefore, the existing sets and settings lack sufficient integrity and significance as historical resources associated with specific important filming activities in the history of movie making. The sets and settings do not embody or represent any specific period or creation that was particularly influential or that reflected an important development in set design or film production. The film sets and settings are not potentially significant under Criterion A of the National Register or Criterion 1 of the California Register for association with a pattern of film production activities in local, state or national history. The movie set and settings are ineligible under Criterion B of the National Register and Criterion 2 of the California Register as they do not convey an association with the productive life of a significant person. The film sets and settings do not retain sufficient integrity, nor do they possess the necessary qualities of significance to be considered eligible for the National Register under Criterion C or California Register under Criterion 3 as an outstanding or distinguished example of a twentieth-century outdoor film studio or production facility comprised of sets and settings, studios, production buildings and supporting infrastructure associated with historically significant filming activities. Criterion D of the National Register and Criterion 4 of the California Register are applicable only to archaeological resources, which were not considered as a part of this investigation.

Guest House (circa 1940)

Description. The rectangular cottage is a wood-frame, single-story dwelling with board-and-batten siding. It has a board-formed concrete foundation and is covered by a front gable roof with asphalt shingles and overhanging eaves. The dwelling has attached flanking shed roofed side wings. An ADA access ramp and entrance has been added to the end of one of the side wings. The windows include a fixed “picture” window, casement windows and double-hung sash. The doors appear to be later replacements. Its character-defining features include the board-formed foundation, wood-frame structure, board-and-batten siding, gable roof, and fenestration (**Figure 18**, *Guest House, Golden Oak Ranch, circa 1940*). The Guest House is located over a quarter mile from the Development Area and would not be impacted by the Proposed Project.

Integrity. The Guest House retains integrity with regard to its location, design, materials, and workmanship.

Significance. Despite its use as an ancillary building that has supported filming activities, the Guest House does not have sufficient historical importance or architectural merit to meet the threshold of significance for potential eligibility as a historical resource. As a part of the extensive, long-term film production activities on the Property, the Guest House would only be eligible as a contributing building associated with the history of film production; however, the Property as a whole is not eligible as a film production studio or facility.

Substantial changes to the Property have occurred over the years during which it has been used for film production activities. The integrity of the sets and settings, of which the Guest House is a part, has been compromised due to the extensive long-term use of the area for filming. While the Guest House retains integrity, the sets and settings as a whole do not embody or represent any specific period or creation that was particularly influential or that reflected an important development in set design or film production. The Guest House is not potentially significant under Criterion A of the National Register or Criterion 1 of the California Register for association with a pattern of film production activities in local, state or national history. The Guest House is ineligible under Criterion B of the National Register and Criterion 2 of the California Register as it does not convey an association with the productive life of a significant person. Architecturally, it is an example of a common and undistinguished, circa 1940, wood-frame cottage. The Guest House does not possess the necessary qualities of architectural significance to be considered eligible for the National Register under Criterion C or California Register under Criterion 3 as an outstanding or

distinguished example of a twentieth-century film set studio or production facility comprised of sets and settings, studios, production buildings and supporting infrastructure. Criterion D of the National Register and Criterion 4 of the California Register are applicable only to archaeological resources, which were not considered as a part of this investigation.

5. Transportation

Arroyo Stone Culverts (circa 1957)

Description. The three culverts are constructed of arroyo stone masonry taken from the creek bed on the Property (**Figure 19, Arroyo Stone Culvert, circa 1957**). The interiors are lined with corrugated metal. The culverts, located along the edge of Placerita Canyon, provide access under Placerita Canyon Road at three places. They are large enough for cattle to pass through it and were designed with arched openings for that purpose. The arroyo stone masonry construction of the culverts is typical of other structures located on the Property.

Integrity. The culverts appear to date from circa 1957 and retain integrity with regard to their location, design, setting, materials, and workmanship. They appear intact and unchanged from their original construction and continue to function as drainage canals, although they no longer function as a livestock passage.

Significance. Despite their integrity, the culverts do not convey their historic context, either individually or as a group, as one of numerous landscape features, buildings and structures that would have comprised the ranch operations. As a result, the culverts exist today as a remnant and the Property setting as a whole does not retain sufficient integrity to be considered potentially eligible in association with Mid Twentieth Century Equestrian Use or Transportation. The culverts are not potentially significant under Criterion A of the National Register or Criterion 1 of the California Register for their association with a pattern of development of early ranching activities in Placerita Canyon and Transportation. The culverts likewise are ineligible under Criterion B of the National Register and Criterion 2 of the California Register as they do not convey an association with the productive life of a significant person. The Arroyo Stone Culverts do not possess the necessary qualities of architectural significance to be considered eligible for the National Register under Criterion C or California Register under Criterion 3 as an outstanding or distinguished example of a twentieth-century transportation infrastructure. Thus, the culverts are not eligible for the National Register under Criterion C or California Register under Criterion 3. Criterion D of the National Register and Criterion 4 of the California Register are applicable only to archaeological resources, which were not considered as a part of this investigation.

6. Landscape Setting

With its past ranching, mining, oil production and film production activities, the Property as a whole was analyzed to determine its potential eligibility as a “rural historic landscape.” The National Park Service (NPS) has developed a bulletin to aid in identifying character-defining features and a set of evaluation criteria specifically for this type of property.⁶³

⁶³ National Park Service, *National Register Bulletin: Guidelines for Documenting Rural Historic Landscapes* Washington, D.C., U.S. Department of the Interior, National Park Service, Interagency Resources Division, 1989, rev. 1990.



Guest House at Golden Oak Ranch, circa 1940.



Guest House at Golden Oak Ranch, circa 1940.



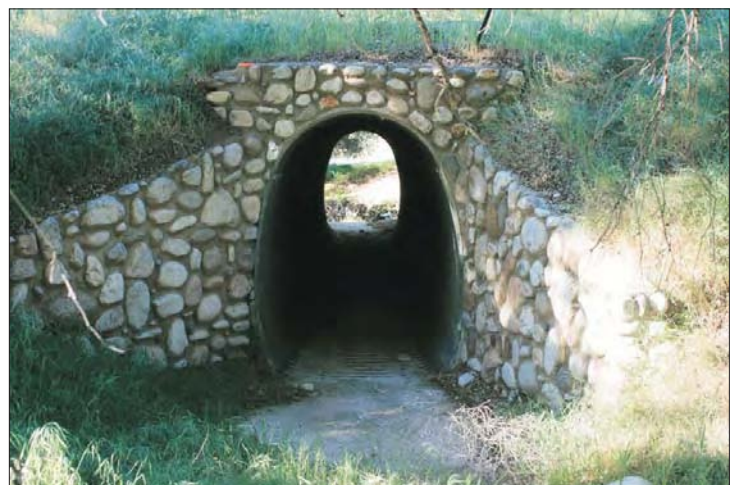
Culver Location Map.



East Culvert.



Middle Culvert.



West Culvert.

The NPS has defined the term “rural historic landscape” as follows,

*A geographical area that has been historically used by people, or shaped or modified by human activity, occupancy, or intervention, and that possesses a significant concentration, linkage or continuity of areas of land use, vegetation, buildings, and structures, roads and waterways and natural features.*⁶⁴

In addition, the NPS has developed 11 landscape characteristics, or character-defining features, which are organized into processes and components that are typical of rural historic landscapes.⁶⁵ Properties that are identified as rural historic landscapes must meet these landscape characteristics at a minimum level.

Processes include 1) evidence of historic land uses (such as farming, ranching, and industry) that have left an imprint on the landscape, 2) patterns of spatial organization (e.g., road systems, field patterns, etc.), 3) responses to the natural environment (such as the use of locally available materials), and 4) cultural traditions that influenced subsequent development. *Components* include 1) circulation networks (e.g., roads, trails, waterways, etc.), 2) boundary demarcations (e.g., fences, walls, hedgerows), 3) vegetation related to land use (e.g., crops, indigenous and/or introduced species), 4) buildings, structures or objects related to the rural use, 5) clustered groupings (e.g., a combination of buildings and fences that denote a farmstead), 6) archaeological sites, and 7) small-scale elements, such as abandoned machinery, road traces, or fence posts.

A rural historic landscape is assessed in its entirety as a historic district if multiple properties are included, or as an individual historic property that retains the integrity of its historic ranch or farm boundaries. A district or ranch property may include contributing and non-contributing buildings, structures, sites or objects located within its boundaries. Given the integral relationship between individual features and the whole property, individual features, such as a barn or an orchard, are considered contributing elements to the property as a whole if they individually convey character-defining aspects of the property as a component of the larger rural historic landscape.

In addition to retaining the majority of its character-defining features at a minimum level, a historic property must also exhibit historic integrity. “Integrity is the ability of a property to convey its significance.”⁶⁶ The landscape as it existed during its “period of significance,” or historic period, is the benchmark for determining how subsequent alterations and additions have disturbed the historic integrity of the property. Changes that have occurred since the identified period of significance must be reviewed and evaluated in order to make a determination regarding the property’s integrity.

As discussed above, according to the *National Register Bulletin*, the National Register recognizes seven aspects or qualities that, in various combinations, define integrity. These seven factors are: location; design;

⁶⁴ *Ibid.*

⁶⁵ Defined as “tangible evidence of the activities and habits of the people who occupied, developed, used, and shaped the landscape to serve human needs; they may reflect the beliefs, attitudes, traditions, and values of these people.” in *National Park Service, National Register Bulletin: Guidelines for Documenting Rural Historic Landscapes*. Washington, D.C., U.S. Department of the Interior, National Park Service, Interagency Resources Division, 1989, rev. 1990.

⁶⁶ *National Register Bulletin, How to Apply the National Register Criteria for Evaluation*, U.S. Department of Interior, National Park Service, 1997. p. 44.

setting; materials; workmanship; feeling; and association. To retain historic integrity, a property will always possess several, and usually most, of these seven aspects. The retention of these seven aspects of integrity is paramount for a property to convey its significance.⁶⁷

A rural historic landscape that exhibits *high integrity* is one in which all of the character-defining features from the period of significance are present. Individual landscape elements on the property will possess a high level of integrity of location, design, setting, materials, workmanship, feeling and association and the property will possess integrity as a whole (e.g., evidence of historic uses, intact spatial organization and boundary demarcations, etc.). The property immediately conveys an association with its historic uses. The property retains its original uses. Individual buildings on the property likewise need to express a high level of individual integrity. The property may be eligible for the National Register of Historic Places if it retains all aspects of integrity, demonstrates a high quality of design at the national, state, or local level, and retains a majority of its historic materials.

A rural historic landscape that exhibits *moderate integrity* is one in which all of the character-defining features from the period of significance are present, however these features, individually, may have lost some of their historic integrity. The property as a whole possesses integrity of location, design, setting, materials, workmanship, feeling and association. The property may have had a change in use, but its original uses are clearly identifiable. Properties of moderate integrity may be eligible for the California Historical Register or under a local preservation ordinance if they are of equal significance, yet have a slightly lower level of integrity with acceptable alterations. For eligibility in the California Historical Register, the property must retain its design, materials, workmanship, and feeling and demonstrate a high quality of design at the state, regional, or local level. For eligibility at the local level, the property must retain its design, materials, workmanship, and feeling, and possess a high quality of design at the regional or local level.

A rural historic landscape that exhibits *low integrity* is a property in which one or more of the minimum character-defining features are missing. There may be additional buildings on the property that do not date to the period of significance. The property as a whole lacks integrity of location, design, setting, materials, workmanship, feeling and association. A historic building may have had its original windows replaced, or is missing decorative elements, such as leaded glass, or has otherwise had its materials compromised (e.g., clapboard siding covered in stucco, roofing materials replaced with a new composition roofing material), or its design compromised (e.g., additions and enclosures). Landscape elements may have been substantially altered from their original design and function. The property may have changed from its original use and the new use obscures the original use of the property.

7. Golden Oak Ranch Landscape

Description. The Property is rural in character and consists of approximately 890 acres in an unincorporated area of the County of Los Angeles located 30 miles northwest of downtown Los Angeles. Film production and agricultural uses are the Property's predominant past and contemporary functions. The Property was assembled by its current owner only relatively recently; over the last century, the parcels that now make up the Property have been owned by a variety of individuals. The primary use of the Property today is as an outdoor set location for filming motion picture, television and commercial productions that take advantage of the panoramic views from the Property that are ideal for location shoots. These views include the nearby

⁶⁷ *Ibid.*

San Gabriel Mountains, which provide a dramatic backdrop to the south. Present agricultural uses include a tree farm and agricultural fields. In prior periods, the Property has also supported horse breeding and cattle ranching activities.

Integrity. Existing documentation of the various activities at the Property over the past 50 years suggests elements associated with the Property’s ranching past have been significantly altered prior to and during the period of ownership by Walt Disney Company affiliates. **Table 1, *Changes to Ranching Resources***, below, documents the adverse impacts to ranching elements located on the Property.

Table 1

Alterations to Ranching Resources

Period of Significance	Adverse Impacts ^a
Mission Era	No buildings or structures associated with the Mission era are extant on the Property.
Rancho Era (1834-1862)	Subsequent historical activities have substantially altered the historic appearance of the Property associated with this period of significance.
Twentieth Century Ranching (1902-1996)	<p>The following changes have altered the Property setting associated with Twentieth Century Ranching Era and have substantially altered or removed specific buildings as well as constructed new buildings. This list is not inclusive, as the point in time when the changes of various attributed features occurred is unknown (e.g., removal of property demarcations) as well as the precise spatial layout of the Property during the period.</p> <ul style="list-style-type: none"> • 1983: Ragwing Barn (circa 1920) was enclosed and converted for use as a set, thus substantially altering a building. • 1985: Porch enclosed on main ranch house (circa 1913). • 1992: Three rooms added to main ranch house (circa 1913). • 1999: Significant interior alteration of guest house (circa 1940) • 2000s: Removal of two sets of five-stall foal barns. Removal of wooden stalls in barn. Installation of concrete pad and sheet metal on barn. Barns re-roofed with ceramic tile. New corrals constructed. Added new stock pen with chute.
Mid- Twentieth Century Equestrian Use (1939-1955); Transportation (1953-1957)	<p>The following changes, both within and outside the period of significance have altered the Property setting associated with the Jauregui Ranch, disturbed preexisting circulation patterns and have substantially altered or removed specific buildings and landscape elements as well as constructed new elements.</p> <p>This list is not inclusive, as the point in time when the changes of various attributed features is unknown (e.g., removal of pasture fencing, removal of rodeo arena) as well as the precise spatial layout of the Property during the period.</p> <ul style="list-style-type: none"> • 1953: County of Los Angeles constructs Placerita Canyon Road, which disturbs the setting and location of the original ranch road that traversed the Property. Placerita Canyon

Table 1

Alterations to Ranching Resources

Period of Significance	Adverse Impacts ^a
	Road also divides a portion of the Property, thus altering the Property's prior spatial relationships.
	<ul style="list-style-type: none"> • 1971: Caltrans constructs Antelope Valley Freeway (State Route 14). Two flat tops (comprising more than 23 acres each) were created on the western portion of the Property. Placerita Creek was diverted through a culvert constructed under the freeway. • 1981: Department of Water and Power installed power lines that run north to south along the western portion of the Property. • Mid-1980s: Prior owners removed several barns and outbuildings on their property. • Circa 1996: The current owner regraded the Jaurequi ranch property and used the area for dirt stockpiling. New storage containers placed on property. New foreman's house sited. Addition of septic tank, fruit trees, non-native pines, fencing, gravel, cactus, and foundation. • 1998: Bottom Road constructed. • 2007: Bottom Road moved several yards north. • Circa 2008: The current owner widens Placerita Canyon Road and constructs new Property entrance. Relocates dwelling from flood plain to canyon uplands.

^a Communication, Steve Sligh, Ranch Manager, Golden Oak Ranch, 2008.

Regarding the Property's other major activity – film production – there are other material changes associated with this activity that have altered the physical setting but may not be considered detrimental as they occurred within the associated period. Ongoing filming activities in these areas include support for location shoots, such as plantings, earthworks, temporary improvements and new construction, and regular maintenance of the Property. Other ongoing activities on the Property related to regular operation and maintenance include grading due to floods and fires, construction of equipment storage facilities, addition of firefighting infrastructure, and miscellaneous activities related to agriculture and livestock.

Documented construction activities that have occurred within the period of film production (circa 1928 – present) on the Property include:⁶⁸

- Prior to 1960: Construction of swimming hole.
- 1960: Constructed pond. Toby Tyler bridge constructed over Heil Creek.

- 1962: Constructed bridge over pond.
- 1964: Pond bridge covered.
- 1960s: Road construction for filming purposes. Constructed barnyard.
- Late 1960s to early 1970s: Outlaw Shack constructed.
- 1970s: Permanent irrigation installed.
- 1978: Western Town construction and subsequent modifications.
- 1995: Nursery and hayshed constructed.
- 1990s: Natalie's Cabin constructed.
- 1996: Ranch office added. Peach orchard added.
- 1998: Planted approximately 20 coastal live oaks.
- 1999: Guest House (circa 1940) altered.
- 2000: Old Prison Set constructed. Parking lot constructed. Relocated road to avoid oaks.
- 2001: One-acre Pine Lake constructed. Planted non-native poplars.
- 2002: Golden Oak Hall constructed. Planted non-native Bosnian pines.
- 2004-2005: Olivia's House constructed. Replanted trees for filming. Continued to plant 500 pine trees, non-native pepper trees, Blue Gum eucalyptus, and vineyard. Added Eucalyptus jungle.
- 2008: Poplar trees planted for screening, oaks removed for new Property entrance. Added new irrigation system and entrance gate. Construction of three-acre parking area.

Many of the physical changes outlined above and in Table 1 have directly impacted the Property's overall integrity and sense of place. As a result, the integrity of the Property as rural historic landscape is low. The National Park Service provides guidance on activities that tend to negatively impact the historic fabric of a rural landscape.⁶⁹ These activities include substantial additions and alterations to buildings over 45 years of age and landscape elements, such as circulation patterns, fields, pastures, streams, paths, spatial divisions, boundary demarcations, vegetation, and areas of land use. These changes detract substantially from the Property's ability to convey the necessary significant associations that would qualify it as eligible for listing in the National Register, California Register or for local designation.

Significance. The Property was evaluated for its potential eligibility as a rural historic landscape in accordance with the National Register guidelines for this resource category. There are several periods of significance associated with the agricultural and ranching uses of the Property:

- Mission San Fernando, Estancia de San Francisco Xavier (1804 – 1833)
- Rancho Era (1834-1862)

⁶⁸ *Communication, Steve Sligh, Ranch Manager, Golden Oak Ranch, 2008.*

⁶⁹ *These changes include: abandonment and realignment of roadways and canals, widening and resurfacing of historic roadways, relocation of historic buildings and structures, loss of vegetation related to significant land uses, etc. in National Park Service, National Register Bulletin: Guidelines for Documenting Rural Historic Landscapes. Washington, D.C., U.S. Department of the Interior, National Park Service, Interagency Resources Division, 1989, rev. 1990.*

- Twentieth Century Ranches (1902-1996): Gaffers (circa 1939-1955); Jauregui (circa 1928-1996); Isaac Gibbs (1902-1926), Edwin Sutton (1902-1960), Elizabeth Leihly (1911-1939), Frank T. Enright (1926-1963), Charles T. Heil (1932-1939), Gertrude Lackie (1932-1964), Degen (1939-1959), and Lloyd Earl (1945-1959).

While the Property appears to have retained connectivity with its agricultural past, the overall integrity has been severely compromised. In many cases, tangible physical evidence from the identified periods of significance, as exemplified in extant buildings and landscape elements, has been significantly altered. These alterations are described above in the list of major changes to the Property and in the descriptions of individual buildings and structures. These adverse physical changes negatively impact the Property's level of integrity and qualities of significance.

Adverse changes generally include major additions and alterations to existing agricultural and ranching buildings. In other cases, numerous buildings have been demolished, such as has occurred on the Jauregui Ranch portion of the Property, which reduces the connection with the historical period. The Property's landscape has also been dramatically reshaped by new major roads and large infrastructure improvements.

The Property consists of parcels of land associated with: the Mission San Fernando, Estancia de San Francisco; the Rancho Era; Gaffers & Sattler Horse Breeders; Jauregui Ranch; Isaac Gibbs, Edwin Sutton, Elizabeth Leihly, Frank T. Enright, Charles T. Heil, Gertrude Lackie, Degen, and Lloyd Earl. As such, if the Property as a whole retained a high level of integrity, its individual buildings and landscape features might be considered contributing resources in a potential historic district comprised of those parcels historically associated with these ranches. However, because the integrity of the Property has been compromised to such an extent over time, it does not possess sufficient integrity to be eligible as a potential historic ranch district. In turn, the significance of the individual resources that are located within the Property has also been adversely impacted.

Because of the temporary nature of buildings and landscape features constructed for agricultural and ranching uses, few of them remain extant on the Property. Only remnants of the ranches remain, which includes a disconnected collection of ranch houses, barns and stables, associated outbuildings, circulation networks, orchards, groupings of vegetation, water sources, fences and other demarcations, roads, and passages for humans and livestock. The majority of a Property's contributing features from the associated period(s) of significance must be extant and retain integrity for the Property as a whole to be considered eligible as a potential historical resource. In this case, the critical majority of building and landscape elements required to convey any period(s) of significance is lacking. Therefore, the Property as a whole is *ineligible* as a potential historic ranching or agricultural landscape district.

Given the minority of extant character-defining features and overall low integrity as an agricultural and ranching landscape, the Property, when considered as a whole, is not eligible as a potential historic district and/or ranch landscape. The necessary majority of the physical elements associated with the various historic ranches that once existed on the Property are absent.

The Property is not potentially eligible under Criterion A of the National Register or Criterion 1 of the California Register for its association with a pattern of development of early ranching activities in Placerita Canyon in connection with the Mission or the Rancho Era, or with Nineteenth-Century Gold Discovery or subsequent Oil Exploration, or Twentieth-Century Ranches and Equestrian Uses or Film Production. The

Property likewise is ineligible under Criterion B of the National Register and Criterion 2 of the California Register as it does not convey an association with the productive life of a significant person. The Property does not retain sufficient integrity or architectural significance as a historic landscape and/or district to be considered eligible for the National Register under Criterion C or California Register under Criterion 3 for its association with the Mission San Fernando, Estancia de San Francisco Xavier (1804–1833), Rancho Era (1834-1862), Gold Discovery (1842–1848); Oil Exploration (1876–present), Twentieth-Century Ranches and Equestrian Uses including the Gaffers Ranch (circa 1939-1955), the Jauregui Ranch (circa 1928-1996), Isaac Gibbs (1902-1926), Edwin Sutton (1902-1960), Elizabeth Leihly (1911-1939), Frank T. Enright (1926-1963), Charles T. Heil (1932-1939), Gertrude Lackie (1932-1964), Degen (1939-1959), and Lloyd Earl (1945-1959), or Film Production (1928–present). Criterion D of the National Register and Criterion 4 of the California Register are applicable only to archaeological resources which were not assessed as a part of this investigation.

F. POTENTIAL IMPACTS

There are no historical resources within or adjacent to the Proposed Project area. The following buildings, structures and features were identified, evaluated, and found ineligible: 1913 Ranch House; 1920 Ranch House; Ragwing Barn;; Barn and Stables; Arroyo Stone Culvert; a Mature Oak Tree; the Guest House; and the Golden Oak Ranch landscape. Furthermore, there are no historical resources situated within the vicinity of the proposed offsite improvements. Therefore, the Proposed Project would result in no impact to historical resources and no mitigation measures are required.

IV. CONCLUSION

There are no historical resources located within or adjacent to the Development Area or on the Property. There are no historical resources in the areas of off-site improvements. Therefore, the Proposed Project would result in no impact to historical resources and no mitigation measures are required.

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APPENDIX A HISTORICAL ASSESSOR MAP RESEARCH

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1962	2842	8	2/1/1964	Lee, William Y	Walt Disney Productions	32	5		
1962	2842	8	3/17/1959	Lackie, Gertrude H	Walt Disney Productions	32	7		
1962	2842	9	3/17/1959		Walt Disney Productions	32	1		
1962	2842	9	3/17/1959	Enright, Frank	Walt Disney Productions	32	2		
1962	2842	9	3/17/1959, 4/20/1964, 6/28/1963, 10/21/1963		Disney Walt Productions, Inc.	32		325 acres Lots 2, 3, 4, 5, 6, 7, and 8 and Lot com at SW corner of Lot 1 in Sec 32	
1962	2842	9	6/28/1932		Meara, Reynold B. & Bernice N.	32		13 acres com at NW cor of Lot 1 in Sec 32	
1962	2842	10	10/28/1964	Lackie, Gertrude H	Disney Walt Productions, Inc.	33	5		
1962	2842	11	10/21/1963	Enright, Frank	Disney Walt Productions, Inc.	33	15		
1962	2842	13	3/17/1959		Disney Walt Productions, Inc.	5	3		
1962	2842	13	3/17/1959		Disney Walt Productions, Inc.		4		
1962	2842	13	3/17/1959		Disney Walt Productions, Inc.		5		
1962	2842	13	1/5/1960		Disney Walt Productions, Inc.		6		
1962	2842	13	1/5/1960		Disney Walt Productions, Inc.		7		
1962	2842	13	3/17/1959		Disney Walt Productions, Inc.		8		
1962	2842	13	3/17/1959, 1/5/1960, 4/20/1960		Disney Walt Productions, Inc.	5		153 acres	
1962	2842	14	3/17/1959		Disney Walt Productions, Inc.	5	1		
1962	2842	15	9/20/1963		Disney Walt Productions, Inc.	6			
1962	2842	15	9/20/1963		Disney Walt Productions, Inc.	6			
1962	2842	15	7/30/1970	CA Institute of the Arts	Disney Walt Productions, Inc.	6	13, 14		
1957	1732	9	3/17/1959	Earl, Lloyd R.	Walt Disney Productions, Inc.	32	1		
1957	1732	9	3/17/1959	Earl, Lloyd R.	Walt Disney Productions, Inc.	32	2		
1957	1732	9			Enright, Frank T.	32	3		
1957	1732	9			Degen, George F & Gertrude	32	4		
1957	1732	9			Enright, Frank T.	32	5		
1957	1732	9			Degen, George F & Gertrude	32	6		
1957	1732	9	3/17/1959	Earl, Lloyd R.	Walt Disney Productions, Inc.	32	7		
1957	1732	9	3/17/1959	Earl, Lloyd R.	Walt Disney Productions, Inc.	32	8		
1957	1732	9	4/20/1960	Sutton, Edwin R & Hazel P	Walt Disney Productions, Inc.	32	10		
1957	1732	9	3/17/1959	Earl, Lloyd R.	Walt Disney Productions, Inc.	32	11		
1957	1732	9	3/17/1959	Earl, Lloyd R.	Walt Disney Productions, Inc.	32	12		
1957	1732	9			Enright, Frank T.	32	13		
1957	1732	9			Degen, George F & Gertrude	32	14		
1957	1732	13	3/17/1959	Earl, Lloyd R. & Kathleen		5	2		
1957	1732	13	3/17/1959	Earl, Lloyd R. & Kathleen	Walt Disney Productions, Inc.	5	3		
1957	1732	13	3/17/1959	Earl, Lloyd R. & Kathleen	Walt Disney Productions, Inc.	5	4		
1957	1732	13	4/20/1960	Sutton, Edwin R & Hazel P	Walt Disney Productions, Inc.	5	5		
1957	1732	13	9/11/1959	Piglia, Charles M	Warfel, Chas R	5	6		
1957	1732	13	1/5/1960	Warfel, Chas R	Walt Disney Productions, Inc.	5	6		
1957	1732	13	9/11/1959	Piglia, Charles M	Warfel, Chas R	5	7		
1957	1732	13	1/5/1960	Warfel, Chas R	Walt Disney Productions, Inc.	5	7		
1957	1732	13	9/11/1959	Piglia, Charles M	Warfel, Chas R	5	8		
1957	1732	13	1/5/1960	Warfel, Chas R	Walt Disney Productions, Inc.	5	8		
1957	1732	13	3/17/1959	Earl, Lloyd R. & Kathleen	Walt Disney Productions, Inc.	5	2		
1957	1732	14	3/17/1959	Earl, Lloyd R. & Kathleen	Walt Disney Productions, Inc.	5	1		
1957	1732	15			Standard Oil Co of Calif	6	1		

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1957	1732	15			Standard Oil Co of Calif		6	2	
1957	1732	15			Standard Oil Co of Calif		6	3	
1957	1732	15			Standard Oil Co of Calif		6	4	
1957	1732	15			Standard Oil Co of Calif		6	5	
1957	1732	15			York Oil Co		6	6	
1957	1732	8		General Petroleum Corp	Socony Mobil Oil Co Inc		32	1	
1957	1732	8	3/17/1959	Earl, Lloyd R. & Kathleen	Walt Disney Productions, Inc.		32	5	
1957	1732	8			Lee, William Y		32	6	
1957	1732	8			Lackie, Gertrude H		32	7	
1957	1732	8			Lackie, Gertrude H		33	6	
1952-56	790	5		Earl, Lloyd R. & Kathleen M.			5	6	
1952-56	790	5		Earl, Lloyd R. & Kathleen M.			5	7	
1952-56	790	5		Earl, Lloyd R. & Kathleen M.			5	8	
1952-56	790	5		Earl, Lloyd R. & Kathleen M.			5	11	
1952-56	790	5	5/25/1955	Gaffers, W C	Piglia, Chas M		5	12	
1952-56	790	5	5/25/1955	Gaffers, W C	Piglia, Chas M		5	13	
1952-56	790	5	5/25/1955	Gaffers, W C	Piglia, Chas M		5	14	
1952-56	790	5		Sutton, Edwin R & Hazel P			5	16	
1952-56	790	6			Standard Oil Co of Calif		6	1	
1952-56	790	6			Standard Oil Co of Calif		6	2	
1952-56	790	6			Standard Oil Co of Calif		6	3	
1952-56	790	6			Standard Oil Co of Calif		6	4	
1952-56	790	6			Standard Oil Co of Calif		6	5	
1952-56	790	6			Standard Oil Co of Calif		6	6	
1952-56	790	6			Phillips, Waite		6	7	
1952-56	790	6			Phillips, Waite		6	8	
1952-56	790	6			Phillips, Waite		6	9	
1952-56	790	6			Phillips, Waite		6	10	
1952-56	790	6			Beck, Fred		6	11	
1952-56	790	6			Phillips, Waite		6	12	
1952-56	790	6			Dudley, Willard T & Melva M		6	13	
1952-56	790	6			York Oil Co		6	14	
1952-56	790	6			York Oil Co		6	15	
1952-56	790	6			York Oil Co		6	18	
1952-56	790	6			York Oil Co		6	18	
1952-56	790	6	12/1/1955		Phillips, Waite		6	7	
1952-56	790	8			General Petroleum Co		32	1	
1952-56	790	8			General Petroleum Co		32	2	
1952-56	790	8			Sutton, Edwin R & Hazel P		32	4	
1952-56	790	8			Sitkei, George & Bertha		32	5	
1952-56	790	8			Sitkei, George & Bertha		32	6	
1952-56	790	8			Lee, William Y		32	7	
1952-56	790	8			Earl, Lloyd R		32	8	
1952-56	790	8			Earl, Lloyd R		32	9	
1952-56	790	8			Earl, Lloyd R		32	10	
1952-56	790	8			Earl, Lloyd R		32	11	
1952-56	790	8			Earl, Lloyd R		32	12	
1952-56	790	8			Earl, Lloyd R		32	13	
1952-56	790	8			Sitkei, George & Bertha		32	14	
1952-56	790	8			Lackie, Gertrude H		32	15	

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1952-56	790	8			Enright, Frank T.	32	16		
1952-56	790	8			Enright, Frank T.	32	17		
1952-56	790	8			Enright, Frank T.	32	18		
1952-56	790	8			Earl, Lloyd R	32	19		
1952-56	790	8			Degen, George F & Gertrude	32	20		
1952-56	790	8			Degen, George F & Gertrude	32	21		
1952-56	790	8			Degen, George F & Gertrude	32	22		
1947-51	790	5			Earl, Lloyd R. & Kathleen M.	5	6		
1947-51	790	5			Earl, Lloyd R. & Kathleen M.	5	7		
1947-51	790	5			Earl, Lloyd R. & Kathleen M.	5	8		
1947-51	790	5			Earl, Lloyd R. & Kathleen M.	5	9		
1947-51	790	5			Earl, Lloyd R. & Kathleen M.	5	10		
1947-51	790	5			Earl, Lloyd R. & Kathleen M.	5	11		
1947-51	790	5			Gaffers, W. C.	5	12		
1947-51	790	5			Gaffers, W. C.	5	13		
1947-51	790	5			Gaffers, W. C.	5	14		
1947-51	790	5			Sutton, Edwin R	5	16		
1947-51	790	6			Standard Oil Co of Calif	6	1		
1947-51	790	6			Standard Oil Co of Calif	6	2		
1947-51	790	6			Standard Oil Co of Calif	6	3		
1947-51	790	6			Standard Oil Co of Calif	6	5		
1947-51	790	6			Standard Oil Co of Calif	6	6		
1947-51	790	6	5/15/1947	MacClatchie, J Warren	Phillips, Waite	6	8		
1947-51	790	6	5/15/1947	MacClatchie, J Warren	Phillips, Waite	6	9		
1947-51	790	6	5/15/1947	MacClatchie, J Warren	Phillips, Waite	6	10		
1947-51	790	6			MacClatchie, J Warren	6	11		
1947-51	790	6	5/15/1947	MacClatchie, J Warren	Phillips, Waite	6	12		
1947-51	790	6	12/15/1947	Thornburg, Dwight H	Dudley, Willard T & Melva M	6	13		
1947-51	790	6	2/25/1949	Trumble, Milon James Est	McDonnell Frank M Exec York Oil Co	6	14		
1947-51	790	6	2/25/1949	Trumble, Milon James Est	McDonnell Frank M Exec York Oil Co	6	15		
1947-51	790	8			General Petroleum Co	32	1		
1947-51	790	8			General Petroleum Co	32	2		
1947-51	790	8			General Petroleum Co	32	3		
1947-51	790	8			Sutton, Edwin R	32	4		
1947-51	790	8	7/24/1946	De Bell, J.	Ann Winter	32	5		
1947-51	790	8	6/25/1947	Ann Winter	Sitkei, George & Bertha	32	5		
1947-51	790	8	7/24/1946	De Bell, J.	Ann Winter	32	6		
1947-51	790	8	6/25/1947	Ann Winter	Sitkei, George & Bertha	32	6		
1947-51	790	8	9/15/1948	Ten, Elsie Y	Lee, William Y	32	7		
1947-51	790	8	10/18/1949	De Shields, Robert	Earl, Lloyd R & Kathleen M.	32	8		
1947-51	790	8	12/13/1949	Heil, Charles F.	Earl, Lloyd R.	32	9		
1947-51	790	8	12/13/1949	Heil, Charles F.	Earl, Lloyd R.	32	10		
1947-51	790	8	12/13/1949	Heil, Charles F.	Earl, Lloyd R.	32	11		
1947-51	790	8	12/13/1949	Heil, Charles F.	Earl, Lloyd R.	32	12		
1947-51	790	8	12/13/1949	Heil, Charles F.	Earl, Lloyd R.	32	13		
1947-51	790	8	3/16/1946	Percivalle, Mary	Gorge & Bertha Sitkei	32	14		
1947-51	790	8			Lackie, Gertrude H	32	15		
1947-51	790	8			Enright, Frank T.	32	16		
1947-51	790	8			Enright, Frank T.	32	17		
1947-51	790	8			Enright, Frank T.	32	18		

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1947-51	790	8	10/18/1949	De Shields, Robert	Earl, Lloyd R & Kathleen M.	32	19		
1947-51	790	8			Degen, George F & Gertrude	32	20		
1947-51	790	8			Degen, George F & Gertrude	32	21		
1947-51	790	8			Degen, George F & Gertrude	32	22		
1939-46	790	5	11/8/1945	Ida Leiley Adam	Earl, Lloyd R. and Kathleen M. Earl	5	6		
1939-46	790	5	11/8/1945	Ida Leiley Adam	Earl, Lloyd R. and Kathleen M. Earl	5	7		
1939-46	790	5	11/8/1945	Ida Leiley Adam	Earl, Lloyd R. and Kathleen M. Earl	5	8		
1939-46	790	5	11/8/1945	Ida Leiley Adam	Earl, Lloyd R. and Kathleen M. Earl	5	9		
1939-46	790	5	11/8/1945	Ida Leiley Adam	Earl, Lloyd R. and Kathleen M. Earl	5	10		
1939-46	790	5	11/8/1945	Ida Leiley Adam	Earl, Lloyd R. and Kathleen M. Earl	5	11		
1939-46	790	5			Edwin & W.C. Gaffers	5	12		
1939-46	790	5			Edwin & W.C. Gaffers	5	13		
1939-46	790	5			Edwin & W.C. Gaffers	5	14		
1939-46	790	5			Edwin R. Sutton	5	16		
1939-46	790	6			Standard Oil Co of Calif	6	1		
1939-46	790	6			Standard Oil Co of Calif	6	2		
1939-46	790	6			Standard Oil Co of Calif	6	3		
1939-46	790	6			Standard Oil Co of Calif	6	4		
1939-46	790	6			Standard Oil Co of Calif	6	5		
1939-46	790	6			Standard Oil Co of Calif	6	6		
1939-46	790	6			Banner Oil Co.	6	7		
1939-46	790	6			J. Warren MacClatchie	6	8		
1939-46	790	6			J. Warren MacClatchie	6	9		
1939-46	790	6			J. Warren MacClatchie	6	10		
1939-46	790	6			J. Warren MacClatchie	6	11		
1939-46	790	6			J. Warren MacClatchie	6	12		
1939-46	790	6			Dwight H Thornburg	6	13		
1939-46	790	6			Milon James Trumble	6	14		
1939-46	790	6			Milon James Trumble	6	15		
1939-46	790	6			LA City Dept of Water and Power	6	16		
1939-46	790	6			LA City Dept of Water and Power	6	17		
1939-46	790	8			General Petroleum Co	32	1		
1939-46	790	8			General Petroleum Co	32	2		
1939-46	790	8			General Petroleum Co	32	3		
1939-46	790	8			Edwin R Sutton	32	4		
1939-46	790	8	12/19/1945	Frank J. Kierman	J De Bell	32	5		
1939-46	790	8	12/19/1945	Frank J. Kierman	J De Bell	32	6		
1939-46	790	8	9/13/1041	Frank J. Kierman	Elsie Y Ten	32	7		
1939-46	790	8	12/26/1939	Frank J. Kierman	Robt J De Shields	32	8		
1939-46	790	8			Charles T Heil	32	9		
1939-46	790	8			Charles T Heil	32	10		
1939-46	790	8			Charles T Heil	32	11		
1939-46	790	8			Charles T Heil	32	12		
1939-46	790	8			Charles T Heil	32	13		
1939-46	790	8			Mary Percivalle	32	14		
1939-46	790	8			Gertrude H Lackie	32	15		
1939-46	790	8			Frank T Enright	32	16		
1939-46	790	8			Frank T Enright	32	17		
1939-46	790	8			Frank T Enright	32	18		
1939-46	790	8			Robert H Shields	32	19		

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1939-46	790	8			Geo T and Gertrude Degen	32	20	
1939-46	790	8			Geo T and Gertrude Degen	32	21	
1939-46	790	8			Geo T and Gertrude Degen	32	22	
1932-39	790	5			Elizabeth Leihy, Ida Leihy	5		Listed in 5 entires: 21, 20, 9, 20, 10 acres
1932-39	790	5	11/6/1936	Mark C. Sutton	Edwin R. Sutton	5		6 acres
1932-39	790	5			Namie Dillion Grant, Richard A. Grant	5		listed in 2 entires
1932-39	790	5			Edgar Dulion	5		
1932-39	790	6			Standard Oil Co of Calif	6		
1932-39	790	6			Banner Oil Co.	6		
1932-39	790	6	10/31/1936	Republic Petroleum Co	J Warren MacClatchie	6		
1932-39	790	6	6/4/1938	Charles H Thorbury	Dwight H Thornburg	6		
1932-39	790	6		Stevens Inv and Holding Co	Milon James Trumble	6		
1932-39	790	8			General Petroleum Co	32		
1932-39	790	8		Elizabeth Leihy	Frank Kierman	32		
1932-39	790	8		First Natl Bank of Santa Ana	Charles T Heil	32		
1932-39	790	8	11/6/1936	Mark C. Sutton	Edwin R. Sutton	32		
1932-39	790	8		Luigi Percivalle	Frank T Enright	32		
1932-39	790	8		Thomas K. Mc Farland	Gertrude H Lackie	32		
1926-32	104	204		Frank J. Kierman	Elizabeth Leihy	32	5,6,4,7	
1926-32	104	204			General Petroleum Co	32	1,2,3	
1926-32	104	204		Charles T Heil	First National Bank of Santa Ana	32	8,9,10,11,12	
1926-32	104	204		Charles T Heil	Frank T Enright	32	16	
1926-32	104	204		US Government	Frank T Enright	32	14,18	
1926-32	104	201			Standard Oil Co of Calif	6		
1926-32	104	201			Banner Oil Co.	6		
1926-32	104	201			Republic Petroleum Co.	6		
1926-32	104	201			Charles H Thornburg	6		
1926-32	104	201			Stevens Investment & Holding Co	6		
1926-32	104	201			LA City Dept of Water and Power	6		
1926-32	104	202			Elizabeth Leihly	5		
1926-32	104	202			Mark C. Sutton	5		
1926-32	104	202			Nannie Dillon Grant	5		
1926-32	104	202		Robert W Curits	Edgar S. Duilin	5		
1926-32	104	202			US Government	5		
1919-26	104	2	Illegible -page torn not able to read			32		Santa Barabra National Forest, Known as Montezuma Placer Mining Claim
1919-26	104	3	8/4/1983		Standard Oil Co	6		
1919-26	104	3		H.C. Price	Republic Petroleum Co.	6		
1919-26	104	3		Cascade Oil Co	Republic Petroleum Co.	6		
1919-26	104	3			Banner Oil Co.	6		
1919-26	104	4			Elizabeth Leihly	6		
1919-26	104	4		Isaac Gibbs	Mark C Sutton	6		
1919-26	104	4			Nannie D. Grant	6		
1919-26	104	4		Alexander McGregor	Robert W Curtia	6		
1911-1919	104	2	Missing page			6		
1911-1919	104	3	Missing page			32		
1911-1919	104	4			Elizabeth Leihly	5		
1911-1919	104	4		Isaac Gibbs	Nannie W. Grant	5		
1911-1919	104	4			Alexander McGregor	5		
1902-1910	101	4		Pacific Coast Oil Co	Standard Oil Co	6		

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1902-1910	101	4		Unknown Owner	E.A. & D.L. Clamputt	6		
1902-1910	101	4			Banner Oil Co.	6		
1902-1910	101	6			Freeman and Nelson White Oil Co	5		
1902-1910	101	6			Placerita Mining, Milling, and Water Co	5		
1902-1910	101	6			Isaac Gibbs	5		
1902-1910	101	5			Alexander Protsman	32	5,6,7,8	
1902-1910	101	5			Chapel 2 Station	32		Known as Montezuma Placer Mining Claim

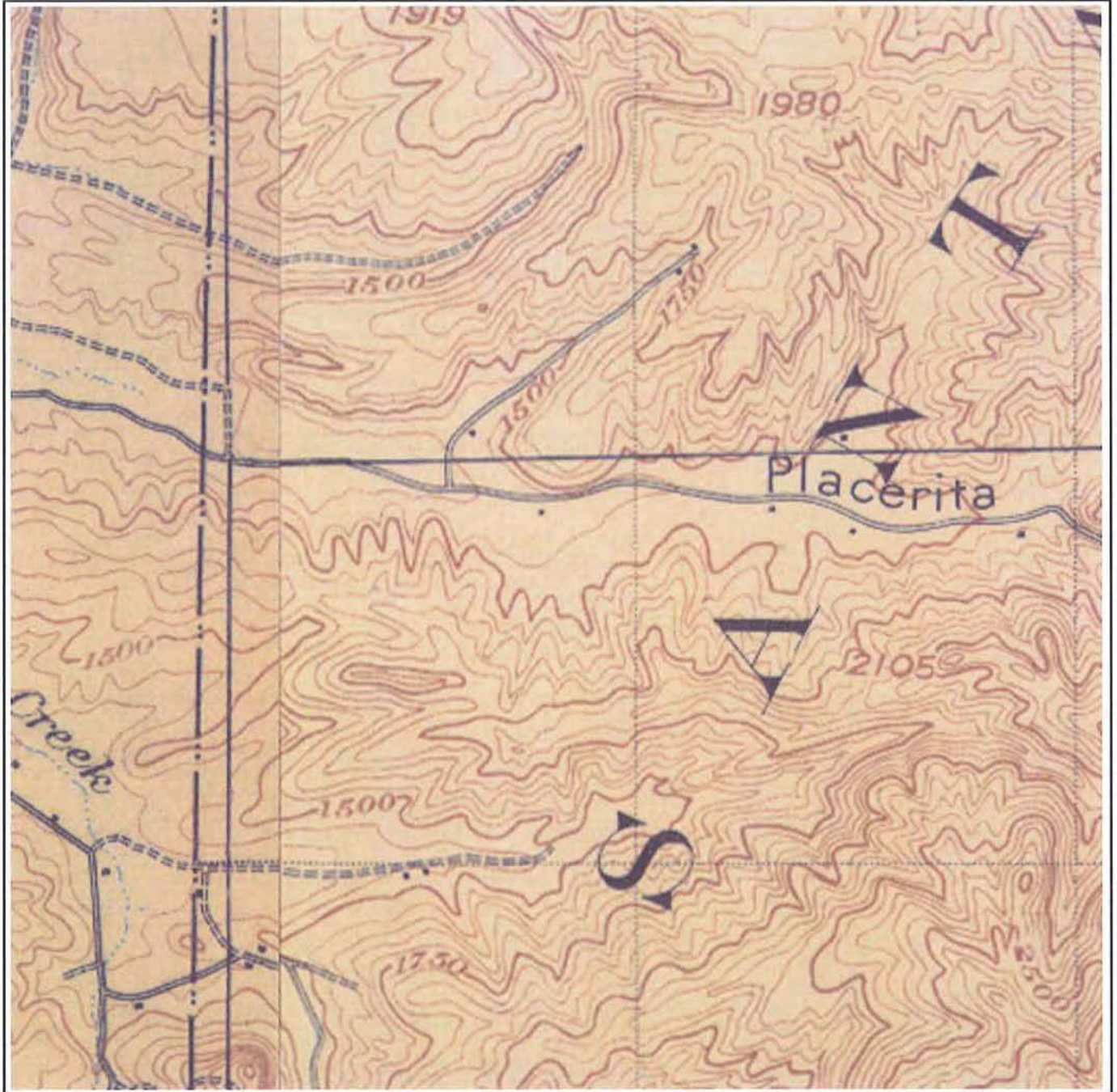
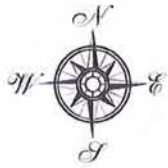
APPENDIX B HISTORIC AERIAL MAPS AND TOPOGRAPHIC MAPS

Track Info Services, LLC

Historical Topographic Map

Site: Placerita Canyon Road, Newhall, CA 91321

Quadrangle Year: 1900



Building



Topo Contour



Depression



Quarry or Open Pit Mine



Railroad



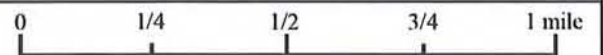
Tanks



Primary Highway



Trail



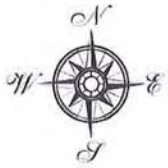
Job Number: MATE0001

Original Scale of Full Topo: 1:62,500

Quadrangle Name: San Fernando, CA

(West: Santa Susana, CA, 1903)

Copyright: Track Info Services, LLC



Track Info Services, LLC

Historical Topographic Map

Site: Placerita Canyon Road, Newhall, CA 91321

Quadrangle Year: 1945



Building

Topo Contour

Depression

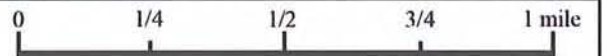
Quarry or Open Pit Mine

Railroad

Tanks

Primary Highway

Trail



Job Number: MATE0001

Original Scale of Full Topo: 1:62,500

Quadrangle Name: San Fernando, CA

(West: Santa Susana, CA, 1943)

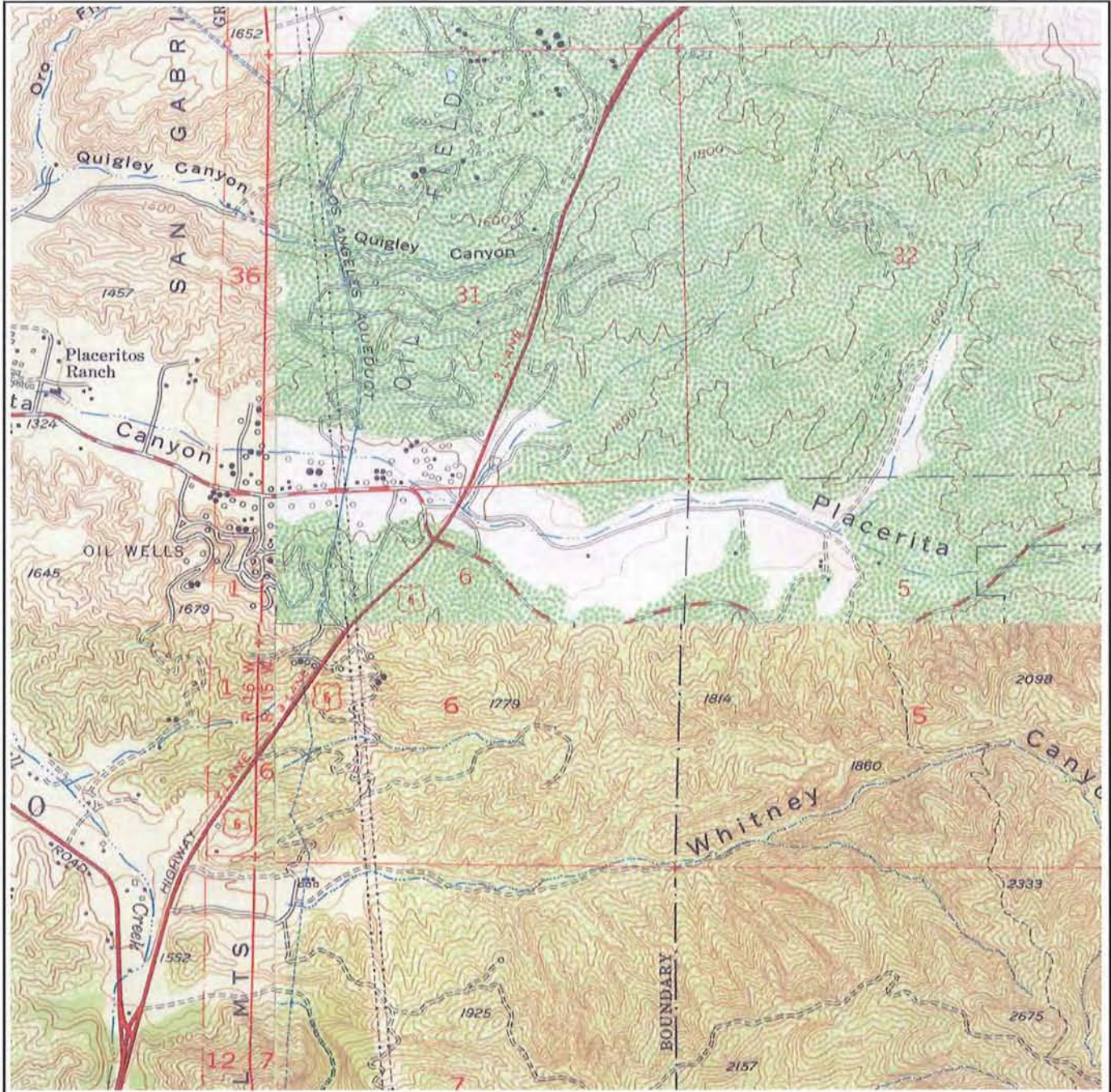
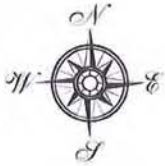
Copyright: Track Info Services, LLC

Track Info Services, LLC

Historical Topographic Map

Site: Placerita Canyon Road, Newhall, CA 91321

Quadrangle Year: 1960



Building

Topo Contour

Depression

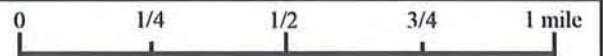
Quarry or Open Pit Mine

Railroad

Tanks

Primary Highway

Trail



Job Number: MATE0001

Original Scale of Full Topo: 1:24,000

Quadrangle Name: Mint Canyon, CA

(South: San Fernando, CA, 1953; South West: Oat Mountain, CA,

1952; West: Newhall, CA, 1952)

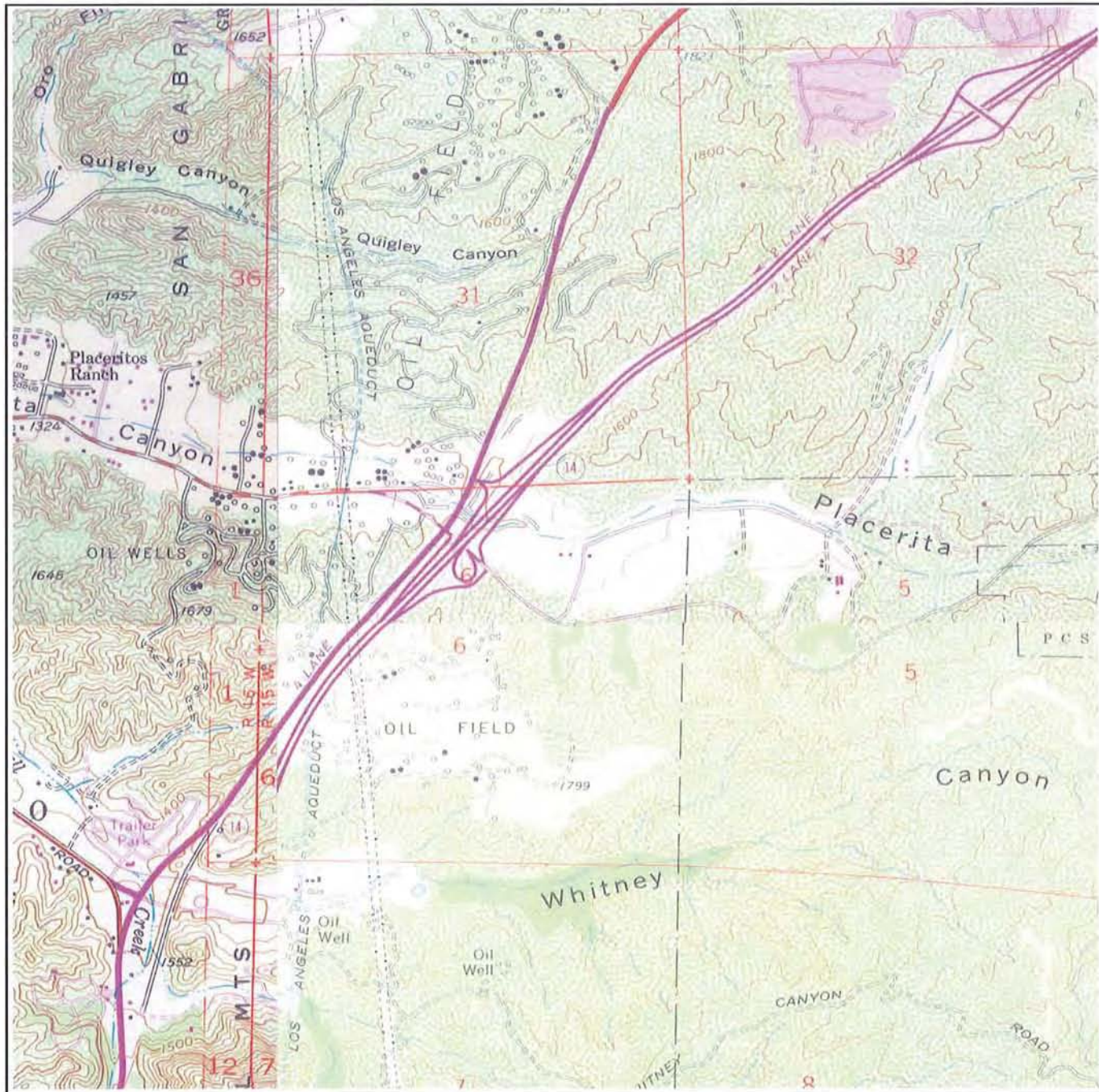
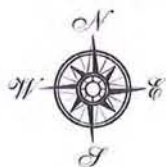
Copyright: Track Info Services, LLC

Track Info Services, LLC

Historical Topographic Map

Site: Placerita Canyon Road, Newhall, CA 91321

Quadrangle Year: 1974



Building

Railroad

Topo Contour

Tanks

Depression

Primary Highway

Quarry or Open Pit Mine

Trail



Job Number: MATE0001

Original Scale of Full Topo: 1:24,000

Quadrangle Name: Mint Canyon, CA

(South: San Fernando, CA, 1972; South West: Oat Mountain, CA, 1969; West: Newhall, CA, 1969)

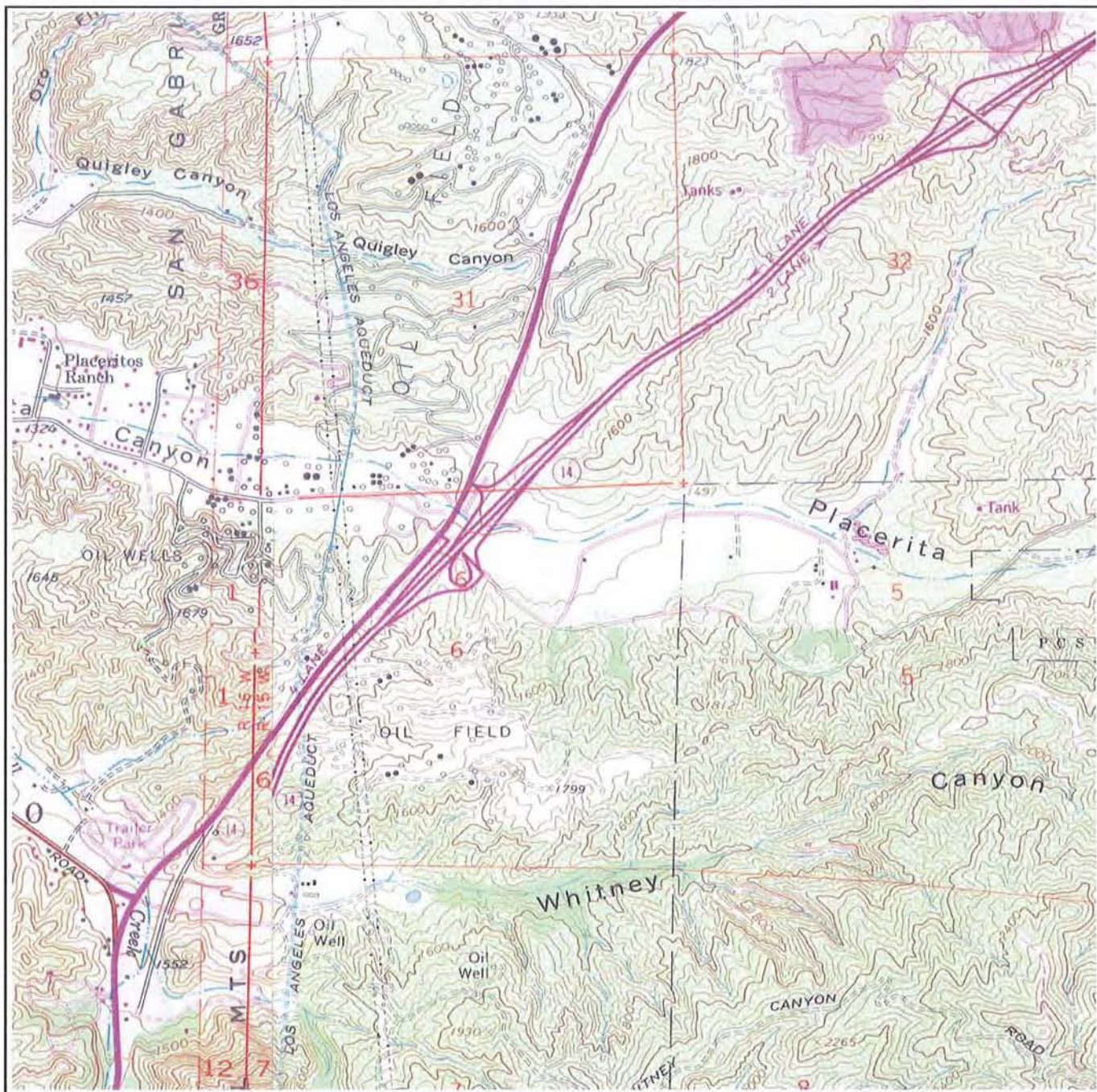
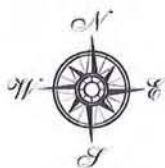
Copyright: Track Info Services, LLC

Track Info Services, LLC

Historical Topographic Map

Site: Placerita Canyon Road, Newhall, CA 91321

Quadrangle Year: 1988



Building

Railroad

Topo Contour

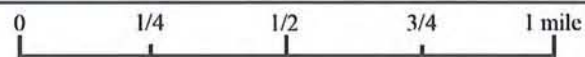
Tanks

Depression

Primary Highway

Quarry or Open Pit Mine

Trail



Job Number: MATE0001

Original Scale of Full Topo: 1:24,000

Quadrangle Name: Mint Canyon, CA

(South: San Fernando, CA, 1988; South West: Oat Mountain, CA,

1969; West: Newhall, CA, 1988)

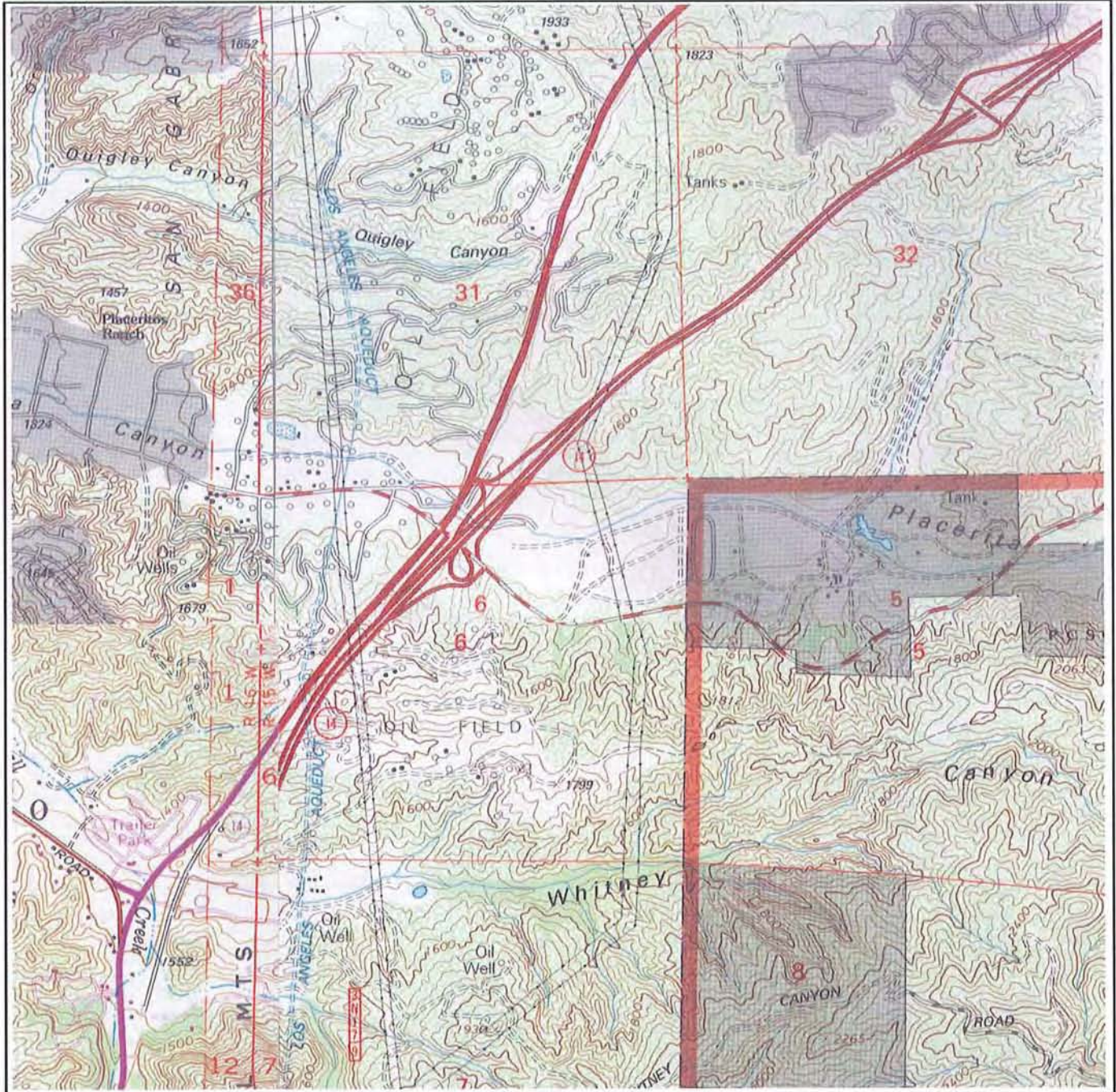
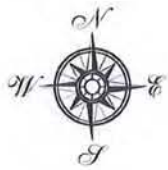
Copyright: Track Info Services, LLC

Track Info Services, LLC

Historical Topographic Map

Site: Placerita Canyon Road, Newhall, CA 91321

Quadrangle Year: 1995



Building

Railroad

Topo Contour

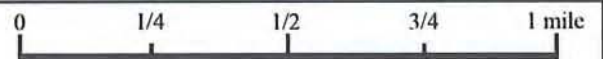
Tanks

Depression

Primary Highway

Quarry or Open Pit Mine

Trail



Job Number: MATE0001

Original Scale of Full Topo: 1:24,000

Quadrangle Name: Mint Canyon, CA

(South: San Fernando, CA, 1995; South West: Oat Mountain, CA,

1969; West: Newhall, CA, 1995)

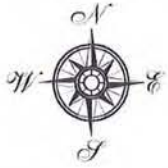
Copyright: Track Info Services, LLC

Track Info Services, LLC

Historical Aerial Photo

Site: Placerita Canyon Road, Newhall, CA 91321

Photo Year: 1928



Job Number: MATE0001

Original Scale of Photo: 1:18,000

Approximate Scale of This Image: 1 in equals 750 ft

Coverage Area Approximately 1/2 Mile Radius from Subject Site



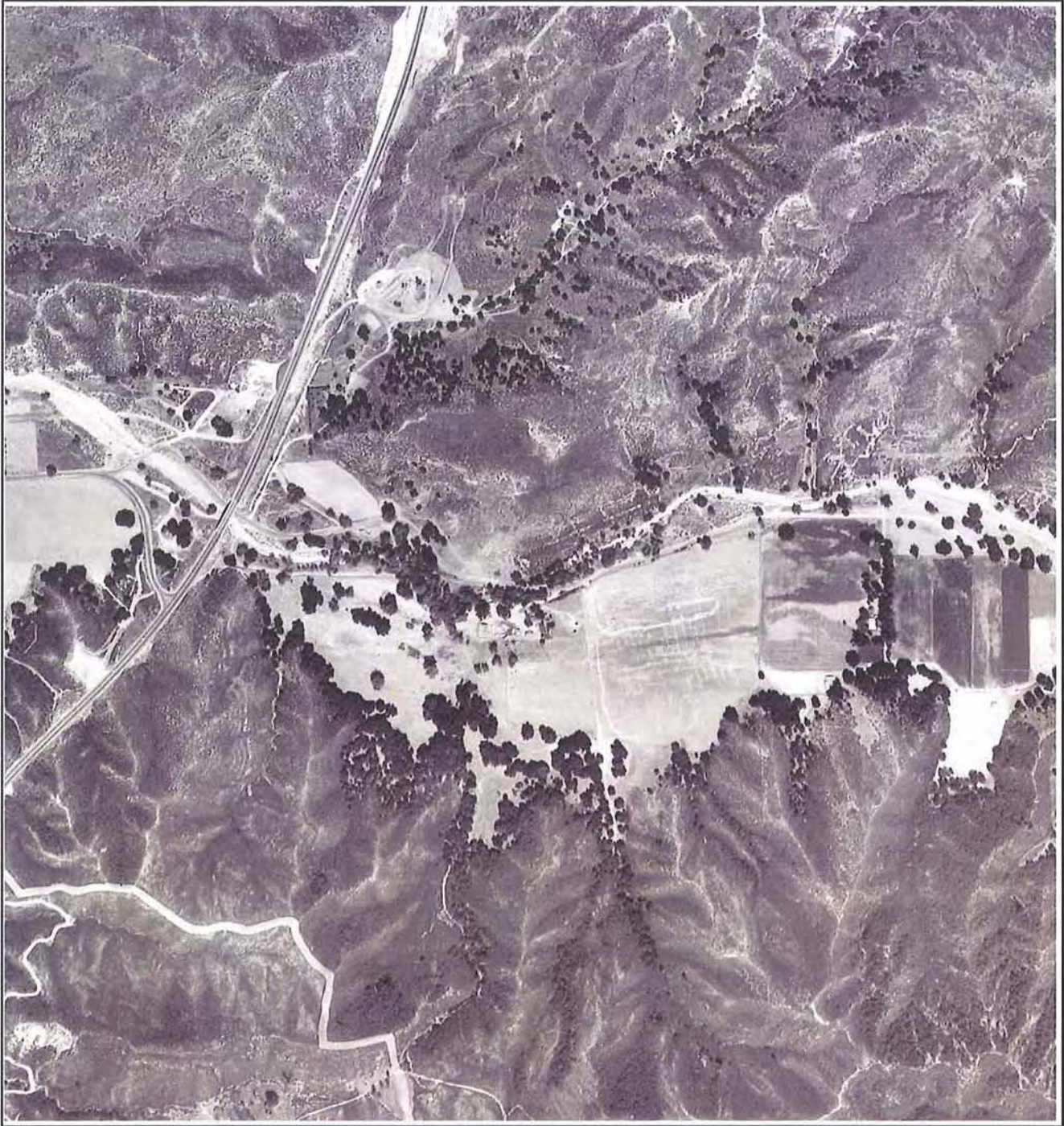
Copyright: Track Info Services, LLC

Track Info Services, LLC

Historical Aerial Photo

Site: Placerita Canyon Road, Newhall, CA 91321

Photo Year: 1947



Job Number: MATE0001

Original Scale of Photo: 1:24,000

Approximate Scale of This Image: 1 in equals 750 ft

Coverage Area Approximately 1/2 Mile Radius from Subject Site

 ≈ 750 ft

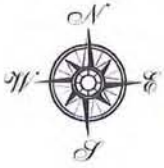
Copyright: Track Info Services, LLC

Track Info Services, LLC

Historical Aerial Photo

Site: Placerita Canyon Road, Newhall, CA 91321

Photo Year: 1952



Job Number: MATE0001

Original Scale of Photo: 1:20,000

Approximate Scale of This Image: 1 in equals 750 ft

Coverage Area Approximately 1/2 Mile Radius from Subject Site

 ≈ 750 ft

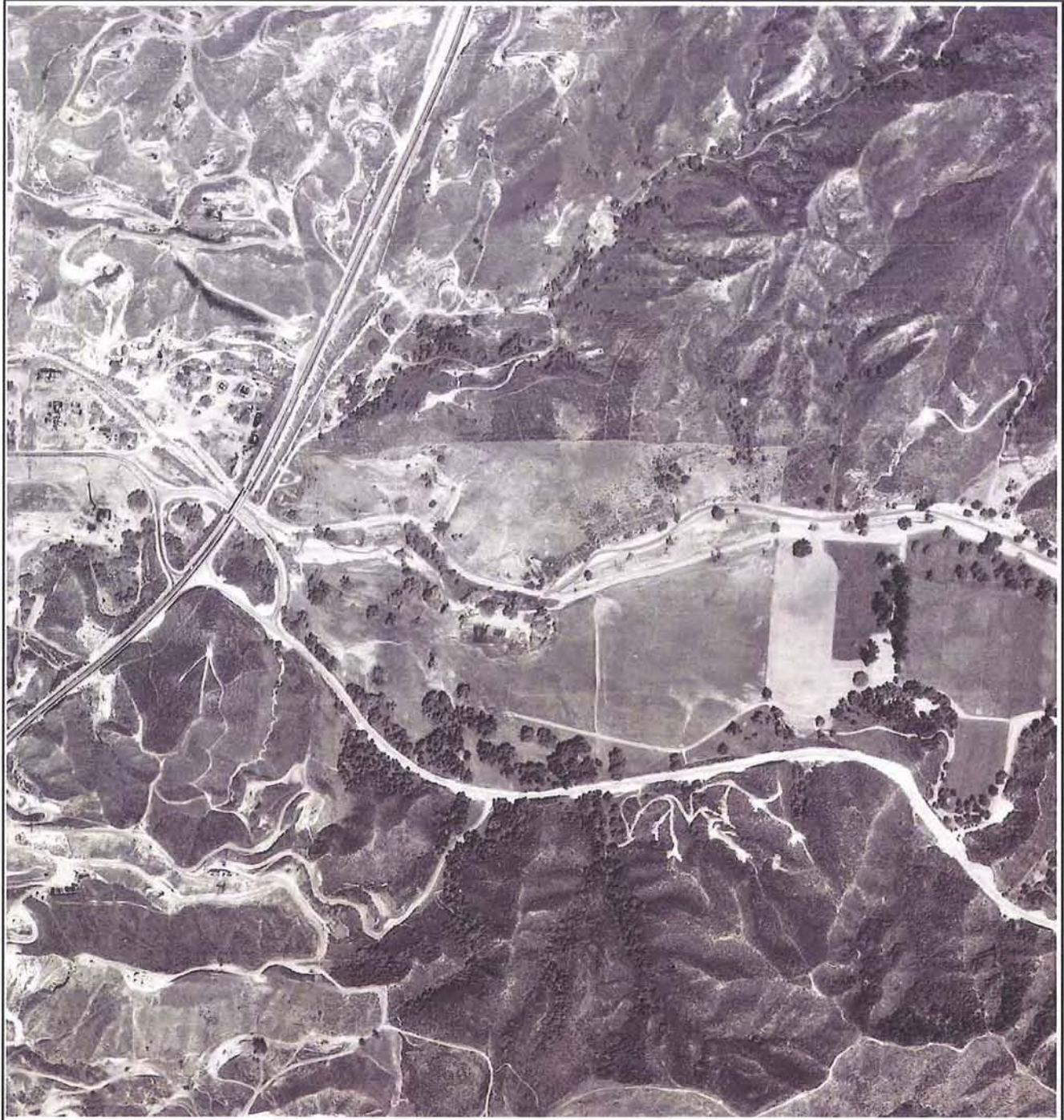
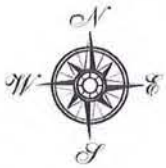
Copyright: Track Info Services, LLC

Track Info Services, LLC

Historical Aerial Photo

Site: Placerita Canyon Road, Newhall, CA 91321

Photo Year: 1968



Job Number: MATE0001

Original Scale of Photo: 1:28,800

Approximate Scale of This Image: 1 in equals 750 ft

Coverage Area Approximately 1/2 Mile Radius from Subject Site

 ≈ 750 ft

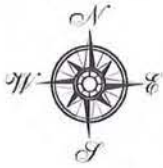
Copyright: Track Info Services, LLC

Track Info Services, LLC

Historical Aerial Photo

Site: Placerita Canyon Road, Newhall, CA 91321

Photo Year: 1976



Job Number: MATE0001

Original Scale of Photo: 1:24,000

Approximate Scale of This Image: 1 in equals 750 ft

Coverage Area Approximately 1/2 Mile Radius from Subject Site

 ≈ 750 ft

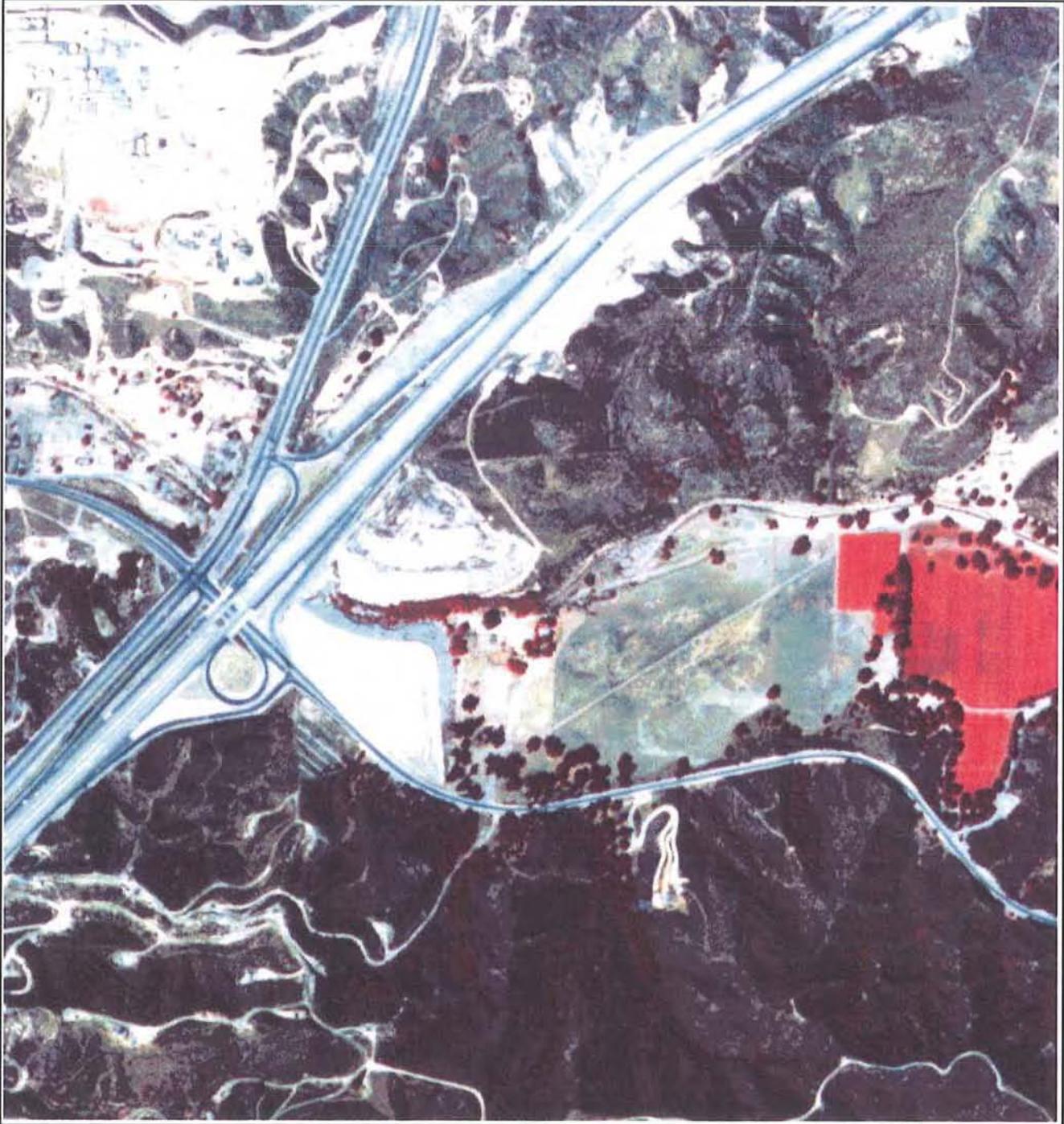
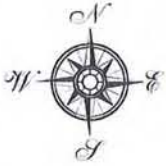
Copyright: Track Info Services, LLC

Track Info Services, LLC

Historical Aerial Photo

Site: Placerita Canyon Road, Newhall, CA 91321

Photo Year: 1989



Job Number: MATE0001

Original Scale of Photo: 1:40,000

Approximate Scale of This Image: 1 in equals 750 ft

Coverage Area Approximately 1/2 Mile Radius from Subject Site

 ≈ 750 ft

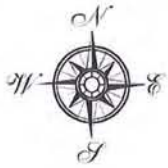
Copyright: Track Info Services, LLC

Track Info Services, LLC

Historical Aerial Photo

Site: Placerita Canyon Road, Newhall, CA 91321

Photo Year: 1994



Job Number: MATE0001

Original Scale of Photo: 1:40,000

Approximate Scale of This Image: 1 in equals 750 ft

Coverage Area Approximately 1/2 Mile Radius from Subject Site



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APPENDIX C HISTORIC RESOURCE INVENTORY RESULTS

Record Search Results

Project: Golden Oaks Ranch County: LA

Search Radius: 1/2 mile

Project Manager: Kyle

Date: 01/12/10

Conducted by: MG

Quad(s): Mint Canyon T344N R15W Sec 6431
San Fernando T31N R15W Sec 546

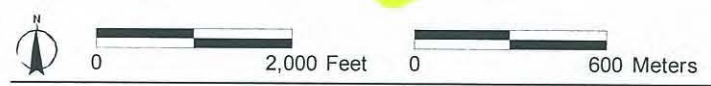
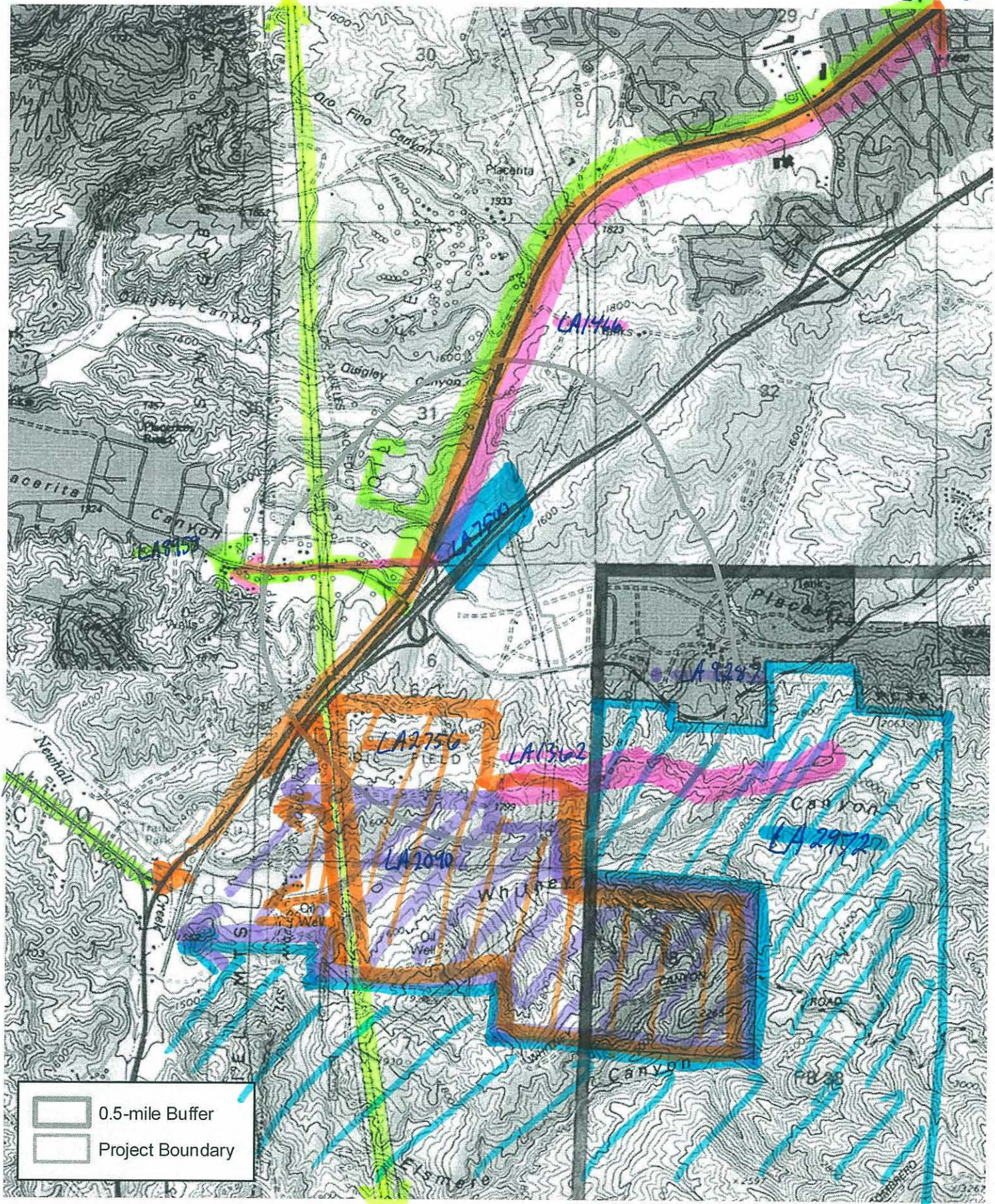
Within Project Area				Within 1/2 Mile of Project Area			
#	Studies	Sites	Other	#	Studies	Sites	Other
1				17			
2				18			
3				19			
4				20			
5				21			
6				22			
7				23			
8				24			
9				25			
10				26			
11				27			
12				28			
13				29			
14				30			
15				31			
16				32			
17				33			
18				34			
19				35	CHLs	/	
20				36			
				37	CPHI	/	
				38			
Within 1/2 Mile of Project Area				#	Studies	Sites	Other
				39	NR	/	
				40			
					CR	/	
					OHP Directory (HRI Listing)	yes (+)	
					Report/Study Bibliography		
					Historic Maps	/	

Possibly w/in Project Boundary →

Copies.
 258
 19
 900
 3
 2
 2
 72

LA 9104

LA 4464
LA 4009



Record Search Map

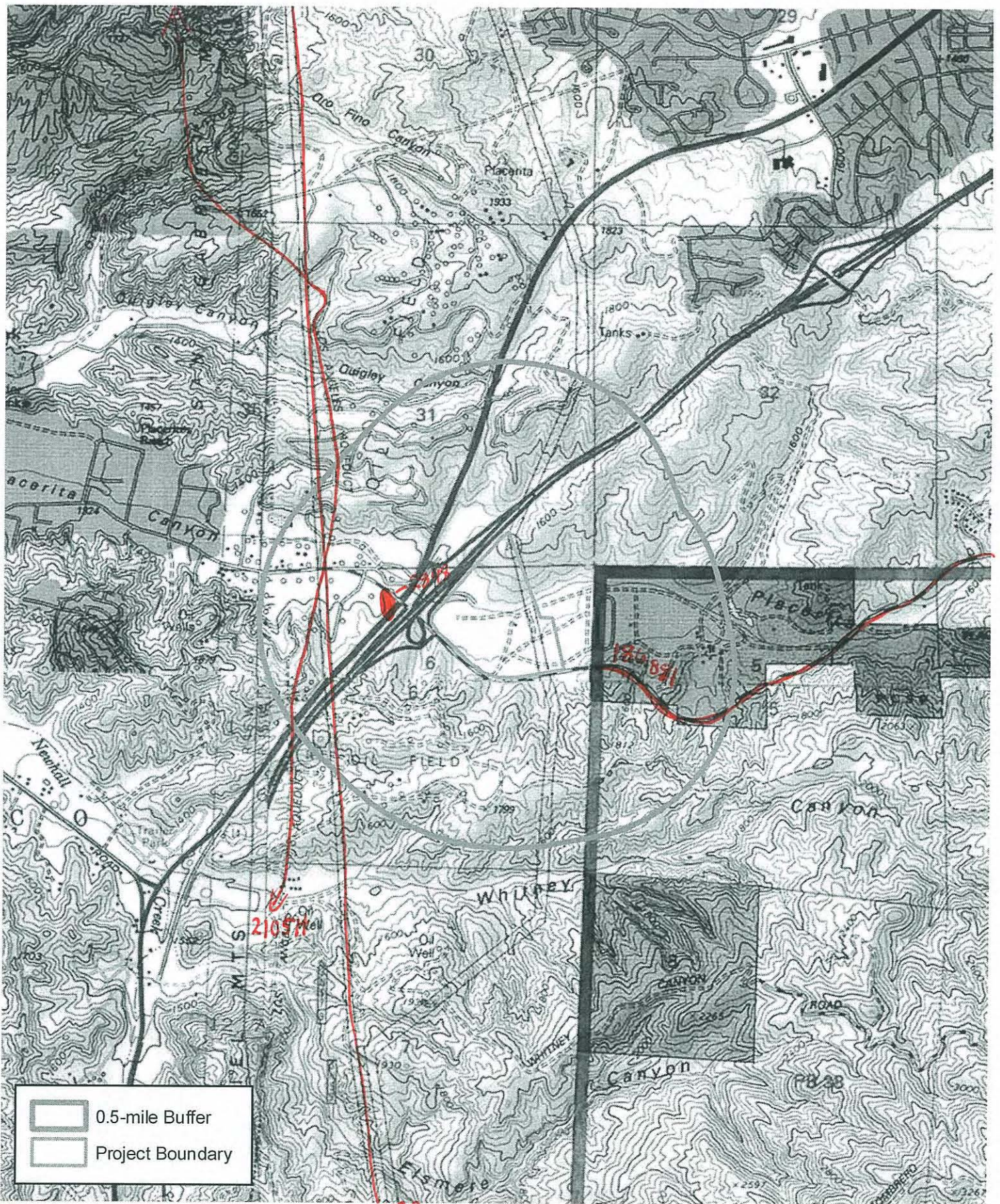
FIGURE

Golden Oak Ranch

1

Source: USGS Topographic Series (Newhall, Mint Canyon, Oat Mountain, San Fernando, CA); PCR Services Corporation, 2008.

studies



PCR



0 2,000 Feet 0 600 Meters

Record Search Map

Source: USGS Topographic Series (Newhall, Mint Canyon, Oat Mountain, San Fernando, CA); PCR Services Corporation, 2008.

FIGURE

1

Sites

APPENDIX D QUALIFICATIONS OF PREPARERS

Education

- Ph.D., Art History, University of California, Los Angeles, California, 2005
- M.A., Architectural History, University of Virginia, Charlottesville, Virginia, 1991
- Certificate of Historic Preservation, University of Virginia, Charlottesville, Virginia, 1991
- B.A., Art History, Oberlin College, Oberlin, Ohio, 1983

Professional Affiliations

- Society of Architectural Historians
- California Preservation Foundation
- National Trust Forum, Center for Leadership, National Trust for Historic Preservation
- Documentation and Conservation of Buildings, Sites and Neighborhoods of the Modern Movement

Summary

Margarita J. Wuellner, Ph.D., has over 20 years of experience in the practice of architectural history, historic preservation, and cultural resources management in California, the United States and abroad. She has an extensive background in art and architecture from the eighteenth through twenty-first century. She is a specialist in the study of visual culture, Modernism, urbanism, and cultural landscape. Her qualifications and experience meet and exceed the Secretary of the Interior's Professional Qualification Standards in History, Architectural History, and Historic Preservation Planning.

Dr. Wuellner has received numerous awards and fellowships for her work including the Samuel H. Kress Foundation Fellowship, Art History; American Council of Learned Societies Fellowship; and Edward A. Dickson Graduate Fellowship, University of California.

Experience

Historic Preservation and Cultural Resources Management: Dr. Wuellner has extensive experience in the management, preservation and treatment of historic properties for compliance with Sections 106 and 110 of the National Historic Preservation Act (NHPA), National Environmental Protection Act (NEPA), Section 4(f) of the Department of Transportation Act, California Environmental Quality Act (CEQA), and local preservation ordinances. Dr. Wuellner is experienced in the assessment of projects for conformance with the Secretary of the Interior's Standards and has assisted clients with State Historic Preservation Office consultation, Programmatic Agreements, and Memorandum of Agreements.

Dr. Wuellner has over 15 years of experience as a principal investigator, project manager, and technical lead for international, national and regional firms, including EDAW, Inc. and Parsons, Inc. She gained her professional training and experience with John Milner Associates in Alexandria, Virginia, and Land and Community Associates in Charlottesville, Virginia. Since returning to Los Angeles in 1995, she has conducted a wide variety of regional and local projects for compliance with CEQA and local preservation ordinances. These projects have included the completion of city-wide and county-wide surveys, as well as evaluation of regional resources.

Surveys and Historic Contexts: Dr. Wuellner has surveyed thousands of properties and conducted extensive research to document and evaluate the significance of historic resources at the local, state, and national levels. She has designed and implemented a variety of large-scale state-wide, county-wide, and city-wide surveys throughout the United States, as well as transportation, military, industrial, urban, and rural surveys. Dr. Wuellner has conducted numerous projects in California and metropolitan Los Angeles for state and local agencies and private clients. She continues to work on a national basis and recently completed the innovative South Texas Ranching Study for the Texas Department of Transportation (TxDOT). Dr. Wuellner is conducting two large-scale surveys under contract to the Community Redevelopment Agency of the City of Los Angeles. These surveys are evaluating historical resources in the Wilshire Center/Koreatown Recovery Redevelopment Project Area and the Normandie 5 Redevelopment Project Area.

Professional Publications: Dr. Wuellner has authored over 100 technical reports representative of a full spectrum of historical resources investigations for incorporation into CEQA/NEPA environmental review documents and other stand-alone reports such as National Register nominations and historic preservation plans.

Dr. Wuellner is experienced in the preparation and implementation of mitigation recommendations to reduce potential impacts to historic resources. She has demonstrated experience in the preparation of Historic Structure Reports (HSRs); Historic Buildings Maintenance and Treatment Plans; Historic Preservation Management Plans; Historic American Building Surveys (HABS); Historic American Landscape Surveys (HALS); and Cultural Landscape Reports (CLRs).



Education

- M. Arch., School of Architecture, Tulane University, New Orleans, Louisiana, 2005
- M.A., American Architectural History, University of Mississippi, Oxford, Mississippi, 2000
- B.A., Early American History, Occidental College, Los Angeles, California, 1996
- Graduate Study, Historic Preservation, Graduate School of Architecture, Planning & Preservation, Columbia University, New York, New York, 2002

Continuing Education

- LEED Workshop, U.S. Green Building Council
- Evaluating Historical Resources in the Los Angeles Area, Association of Environmental Professionals

Professional Affiliations

- The American Institute of Architects
- LEED Accredited Professional, U.S. Green Building Council
- Los Angeles Conservancy
- National Trust for Historic Preservation
- American Farmland Trust

Awards

- Sally Kress Tompkins Fellowship, Society of Architectural Historians, 2000

Summary

Jon Lamar Wilson has over eight years of professional and academic experience in the practice of architecture, historic preservation, and architectural history. He has a wide-ranging knowledge of nineteenth and twentieth-century American Architecture, with a specific focus on California and the American South. In particular, Mr. Wilson is an expert in both urban and rural housing types and how they relate to their larger context. His qualifications and experience exceeds those of the Secretary of the Interior's Professional Qualification Standards in History, Architectural History, and Historic Architecture.

Experience

Mr. Wilson has a broad training and professional experience in the practice of Historic Preservation and Cultural Resource Management. He has extensive experience consulting clients on projects for compliance of Sections 106 of the National Historic Preservation Act (NHPA), the California Environmental Quality Act (CEQA), and local preservation ordinances. Mr. Wilson is experienced in the assessment of projects for conformance with the Secretary of the Interior's Standards for the Rehabilitation of Historic Buildings, and has assisted clients with Historic American Buildings Survey (HABS) documentation, Historic Structure Reports (HSR), National Register of Historic Places nominations, California Register of Historical Resources nominations, local historic designation nominations, Historic Preservation Federal Tax Credit applications, preservation design, and feasibility reports.

HABS: Mr. Wilson worked professionally as an employee and a private contractor for the HABS, a historic building documentation department within the National Park Service. His relationship with HABS began after he won the Sally Kress Tompkins Fellowship, an academic research grant jointly awarded by HABS and the Society of Architectural Historians. As an employee of HABS, Mr. Wilson initially worked documenting a colonial governor's rural retreat just outside Philadelphia, Pennsylvania, and then over several years worked in Natchitoches, Louisiana, documenting rural housing patterns and types, and producing an urban history on the development of the town's commercial district.

Mr. Wilson worked at Historic Resources Group (HRG) in Los Angeles prior to joining PCR. At HRG, Mr. Wilson worked for the City of Riverside conducting HABS documentation for the Stalder Building and Brown's Garage, creating a CEQA technical report, a Federal Tax Credit for Historic Preservation application, and design monitoring for the Fox Riverside Theatre, an HSR for the National Landmark Harada House, and a historic interpretation plan for the grain silos at the Riverwalk at La Sierra University.

Surveys: Mr. Wilson has conducted historical and cultural resource surveys for specific plans in Placentia and Santa Ana in Orange County, California, and in Whittier, California. He helped produce the National Register Nomination and design consulting for Santa Anita Park, Conducted Section 106 Review for the City of Los Angeles, authored a California Culture and Historical Endowment (CCHE) grant for the City of El Monte's Southern California Heritage Walk. He conducted a survey of contributing "puestos" to the El Pueblo de Los Angeles Historic Monument. Mr. Wilson produced historic preservation design drawings and conducted design review for multiple historic properties including the Marion Davies Estate, the Lopez Adobe, Orchard Gables, and the Hughes Industrial Historic District. He also produced a Federal Tax Credit for Historic Preservation application for the Lompoc Theatre, and many other documents related to historic preservation and cultural resource management.



Education

- M.S., Historic Preservation (Emphasis: Conservation), Columbia University, New York, New York, 2008
- B.S., Design, (Emphasis: Interior Architecture), University of California, Davis, California, 2002
- B.A., Art History, University of California, Davis, California, 2002

Professional Affiliations

- American Society of Interior Designers
- National Trust for Historic Preservation
- Association for Preservation Technology
- Los Angeles Conservancy
- Santa Monica Conservancy

Summary

Amanda Kainer has over four years of professional and academic experience in the practice of historic preservation and architectural history throughout the United States.

Ms. Kainer's qualifications and experience meet and exceed the Secretary of the Interior's Professional Qualification Standards in History and Historic Preservation Planning. She has a wide-ranging knowledge of nineteenth- and twentieth-century American Architecture and Interior Design. Ms. Kainer has advanced skills in researching and documenting residential interior design, and analyzing preservation easements. She also specialized in conservation with knowledge of analytical methods, and materials such as stone, metal, mortar, bricks and finishes.

Experience

Historic Preservation Documentation and Research: Ms. Kainer has conducted extensive archival research, field observation, and recordation for numerous historic documentation projects. She provided database management for the Adelante Eastside Redevelopment Project and the Wilshire Center/Koreatown Historic Resources Survey and served as the Survey Team Leader for the survey of fine and decorative arts aboard the RMS Queen Mary in Long Beach. Ms. Kainer is currently assisting with the management of the survey database and research for the Normandie 5 Survey in Los Angeles.

Ms. Kainer has completed character-defining features reports, and assistance with investment tax credit applications and Historic American Building Survey (HABS) documentation. She has contributed to Historic Resource Assessments for residential properties in Laguna Beach and Redondo Beach, as well as a bowling alley in Chatsworth. Ms. Kainer has prepared Conditions Assessments and provided recommendations for two projects in New York, including the East and West Parlors of the Van Cortlandt House Museum in the Bronx and the Orange County and Government Center in Goshen. She has assisted with the HABS documentation of the Schoebner Institute and the Santa Monica City Jail. Ms. Kainer has contributed to character-defining features reports for All Saints Church and Polytechnic Elementary School in Pasadena.

Santa Monica: Ms. Kainer has served as a research assistant and co-author for numerous reports for the City of Santa Monica as part of PCR's on-call contract with the City. She has experience providing research assistance, critical analysis, and writing for City Landmark Assessment and Evaluation reports, Preliminary Assessment Memoranda, and Structure of Merit Evaluations. The reports evaluated a variety of commercial, residential and institutional properties, including the Bay Builders Exchange (1503-1509 4th Street), the Keller Block (1456-1460 3rd Street/227 Broadway), the Santa Monica Doctor's Building (2125 Arizona Avenue), the Shangri-La Hotel (1301 Ocean Avenue), and a residential property (142 Hollister Avenue).



Appendix G.2

Archaeological and Paleontological Resources Assessment



PHASE I ARCHAEOLOGICAL AND PALEONTOLOGICAL RESOURCES ASSESSMENT

DISNEY | ABC STUDIOS AT THE RANCH

LOS ANGELES COUNTY, CALIFORNIA



PCR

August 2010

PHASE I ARCHAEOLOGICAL AND PALEONTOLOGICAL RESOURCES ASSESSMENT

DISNEY | ABC STUDIOS AT THE RANCH LOS ANGELES COUNTY, CALIFORNIA

Prepared for:

Golden Oak Ranch Properties
19802 Placerita Canyon Road
Newhall, California 91321

Contact:

Matrix Environmental
6701 Center Drive West, Suite 900
Los Angeles California 90045

Prepared by:

PCR Services Corporation
1 Venture, Suite 150
Irvine, California 92618
Tel: 949.753.7001

Contacts: Matthew Gonzalez, Assistant Archaeologist/Paleontologist
Kyle Garcia, Senior Archaeologist I

August 2010

**PHASE I ARCHAEOLOGICAL AND PALEONTOLOGICAL RESOURCES ASSESSMENT FOR
DISNEY | ABC STUDIOS AT THE RANCH,
LOS ANGELES COUNTY, CALIFORNIA**

Report Prepared For:

MATRIX ENVIRONMENTAL
Ashley Rogers, Principal Planner
6701 Center Drive West, Suite 900
Los Angeles, CA 90045-1535
Phone: (424) 207-5330

Report Prepared By:

PCR SERVICES CORPORATION
1 Venture, Suite 150
Irvine, California 92618
Phone: (949) 753-7001

Authors:

Matthew Gonzalez, *Assistant Archaeologist/Paleontologist*
Kyle Garcia, *Senior Archaeologist I*

Mint Canyon, CA USGS 7.5' Quadrangle
Township 3 & 4 North, Range 15 West, Section 6 & 31

56 Acres

Survey Conducted: June 6, 2008 and March 17, 2010
Report Completed: August 2010

Resources Identified: None

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EXECUTIVE SUMMARY

PROJECT BACKGROUND AND UNDERTAKING

Disney | ABC Studios at The Ranch (the Proposed Project) would provide an indoor state-of-the-art motion picture and television studio on 56 acres (the Development Area) in the westernmost portion of the approximately 890-acre Golden Oak Ranch (Ranch). In addition, the Proposed Project would include the construction of sewer and water improvements (utility improvement areas) that would service the Development Area within the Ranch and off-site.

The Development Area is located within the Santa Clarita Valley in an unincorporated region of Los Angeles County and generally bounded by State Route (SR)-14 to the west, Placerita Canyon Road to the south, and mostly undeveloped land to the north and east. Over 23 acres of the Development Area consist of two large, mostly barren fill pads deposited by Caltrans during construction of SR-14 in the early 1970s. The grading for the Proposed Project would lower the height of the northern fill pad and create a smoother slope toward the east for the southern fill pad. The Development Area is currently used for agriculture, film sets and parking. Placerita Creek generally bisects and flows east to west across the Ranch.

The Proposed Project would include twelve soundstages, production offices, six mills, a warehouse, writers/producers bungalows, a commissary, an administration building, a central plant, and an electrical substation within the Development Area. As an option, the Proposed Project would include studio offices instead of four soundstages and two mills on the northern portion of the Development Area.

The utility improvement areas are located along developed (paved) roadways and dirt access roads within the Ranch and off-site and consist of pipeline alignments and associated facilities (i.e., pump stations and water tanks).

SCOPE AND METHODOLOGY

PCR Services Corporation (PCR) conducted a Phase I archaeological and paleontological resources assessment of the Proposed Project from April 2008 through June 2010. This assessment was conducted by PCR to determine the potential impacts to archaeological and paleontological resources associated with the Proposed Project for the purpose of complying with the regulations implementing Section 106 of the National Historic Preservation Act (Section 106), the California Environmental Quality Act (CEQA) and the County's cultural resource guidelines. The scope of work for this assessment included a cultural resources records search through the California Historical Resources Information System-South Central Coastal Information Center (CHRIS-SCCIC), a Sacred Lands File (SLF) search through the California Native American Heritage Commission (NAHC) and follow-up Native American consultation, a paleontological resources records search through the Natural History Museum of Los Angeles County (LACM) and a pedestrian survey of the Development Area and the utility improvement areas outside the Development Area.

SUMMARY OF RESULTS AND RECOMMENDED MITIGATION

Archaeological Resources

Results of the cultural resources records search through the CHRIS-SCCIC revealed that one prehistoric or Native American resource (CA-LAN-446) has been previously recorded within one-mile of the Development Area. This resource is described as a possible fire hearth eroding out of an exposed bank along Placerita Creek with a complete pestle and small amount of charcoal and red-oxidized patches of soil associated with it. Seven historic-period resources are located within a one-mile radius of the Development Area. These resources include the two abandoned segments of the previous alignment of Sierra Highway (P-19-002898), Placerita Canyon Road cobble and mortar culverts (P-19-186881), the Los Angeles Aqueduct (CA-LAN-2105H), the Los Angeles Aqueduct Transmission Lines (CA-LAN-2132H), Pacific Coast Oil Road (CA-LAN-2150H), two cabins known as the Walker Cabins (P-19-003133) and some historic oil machinery and tools (P-19-003134). One isolated resource was identified within one mile of the Development Area; however, no records were collected from the CHRIS-SCCIC regarding its contents and condition. Although the current content and condition of these resources is unknown, their identification confirms the presence of human occupation and subsistence activities in the region as early as the prehistoric period. Moreover, these resources would not be impacted by the Proposed Project because they are located at least a quarter-mile from the Development Area.

Three historic-period resources have been identified within the immediate vicinity of the utility improvement areas. These resources include the Los Angeles Aqueduct (CA-LAN-2105H), the Los Angeles Aqueduct Transmission Lines (CA-LAN-2132H) and P-19-002898 (two abandoned segments of the previous alignment of Sierra Highway). CA-LAN-2105H and CA-LAN-2132H will not be impacted by the Proposed Project. P-19-002898 is not considered significant pursuant to CEQA nor is it eligible for listing in the National Register of Historic Places (per Section 106) given its lack of structural integrity. In addition, P-19-002898 is not associated with an important event or significant person and further investigation is not likely to yield important information beyond its recordation. As a result, impacts to resource P-19-002898 are not considered a significant impact on the environment.

No archaeological resources were identified by PCR during the pedestrian survey of the Development Area or the utility improvement areas.

The Proposed Project would grade into the two fill pads in Development Area and add fill to the area east of the southern fill pad. These two fill pads comprise approximately 23.6 acres and are bisected into a northern and southern pad by Placerita Creek, which extends in an east-west direction across the Development Area. The northern fill pad is approximately 12 acres, approximately 60 feet deep, and approximately 10 to 25 feet below the elevated SR-14 to the northwest. The southern fill pad is approximately 11.6 acres, 45 to 50 feet deep, and at approximately the same grade as Placerita Canyon Road at its southern limit. The pads were created in the early 1970s when Caltrans constructed SR-14, and the spoils from the associated grading were dumped in their current location in the Development Area.

The Proposed Project would also involve excavations of trenches (for the pipelines) and grading of pads (for the associated facilities) for the utility improvement areas. Specifically, the trenches would measure approximately four feet wide and six feet deep for the water lines and approximately four feet wide and four

to 14 feet deep for the sewer lines. While the design specifications have not yet been determined for all of the supporting utility facilities, the pad for the proposed water tank is anticipated to be less than 5 feet deep.

The Proposed Project would excavate up to 30 feet of the two pads and as deep as 14 feet for utility line trenches, but given the composition of the fill pads, the negative results of the survey, and the disturbance from previous development that has likely displaced resources, the potential to encounter buried archaeological resources is considered low and no archaeological monitoring is recommended during the implementation of the Proposed Project. However, given the known prehistoric and historic occupation of the area around the Development Area and utility improvement areas and based on recent correspondence with local Native American tribes, the potential to find archaeological resources in previously imported fill still exists. As a result, the following mitigation measures are recommended:

1. If archaeological resources are encountered during implementation of the project, ground-disturbing activities should temporarily be redirected from the vicinity of the find. The Applicant should immediately notify a qualified archaeologist of the find. The archaeologist should coordinate with the Applicant as to the immediate treatment of the find until a proper site visit and evaluation is made by the archaeologist. Treatment may include the implementation of an archaeological testing or salvage program. At a minimum, all archaeological resources recovered will be documented on California Department of Parks and Recreation Site Forms to be filed with the CHRIS-SCCIC. The archaeologist shall prepare a final report about the find to be filed with the Applicant, the County, and the CHRIS-SCCIC, as required by the California Office of Historic Preservation. The report shall include documentation and interpretation of resources recovered. Interpretation will include full evaluation of the eligibility with respect to the California Register of Historical Resources and CEQA. The Applicant shall designate repositories in the event that resources are recovered. The archaeologist shall also determine the need for archaeological and Native American monitoring for any ground-disturbing activities in the area of the find thereafter.
2. If human remains are encountered unexpectedly during construction excavation and grading activities, pursuant to California Health and Safety Code Section 7050.5, the Applicant shall halt ground-disturbing activities within the area of the human remains and notify the County Coroner. If the remains are determined to be of Native American descent, the coroner shall have 24 hours to notify the California Native American Heritage Commission (NAHC). The NAHC shall identify the person(s) thought to be the Most Likely Descendant of the deceased Native American, who shall have 48 hours from notification by the NAHC to inspect the site of the discovery of Native American remains and to recommend to the Applicant or landowner means for treating and disposition, with appropriate dignity, the human remains and any associated grave goods. The Applicant or landowner shall reinter the remains and associated grave goods with appropriate dignity on the property in a location not subject to further disturbance.

With the implementation of the above mitigation measures, any potential impacts to archaeological resources from the Proposed Project would be less than significant.

Paleontological Resources

Results of the paleontological resources records search through the LACM files indicate that most of the Development Area (lower lying portions, or basin area) is situated upon surface deposits of younger

Quaternary Alluvium, derived primarily as fluvial deposits from Placerita Creek that flows through the middle of the Development Area. The younger Quaternary Alluvium typically does not contain significant vertebrate fossils, at least in the uppermost layers, and there are no vertebrate fossil localities in the immediate vicinity from these deposits. However, the younger Quaternary deposits are most likely underlain by older Quaternary or Tertiary deposits at a relatively shallow depth, which are known to contain highly significant vertebrate fossils. According to the LACM and upon review of URS Corporation geologic maps, in the more elevated terrain in the northern portion of the proposed Development Area there are exposures of the Pliocene Saugus Formation that may be overlain in part by older Quaternary high terrace deposits. The nearest vertebrate fossil localities in the older Quaternary deposits are located five miles south of the Development Area around the Van Norman Reservoir. These localities included specimens of fossil horse (*Equus*), bison (*Bison*), mastodon (*Mammut*), and mammoth (*Mammuthus*). The next closest vertebrate fossil localities in the Saugus Formation are located six miles northwest of the Development Area around Saugus and Castaic Creeks. These localities produced fossil specimens of camel (*Camelidae*), horse (*Equus*), and dog (*Canidae*). Farther northwest, near Val Verde, are fossil localities that include specimens of alligator lizard (*Gerrhonotus*), rabbit (*Leporidae*), pocket mouse (*Perognathus*), pocket gopher (*Thomomys*), and horse (*Equus*). South-southwest of the Development Area north of California Highway 118 and west of the Van Norman Reservoir are specimens of fossil deer (*Cervidae*) and a rare specimen of fossil tapir (*Tapirus merriami*).

No paleontological resources were identified on the surface during the pedestrian survey of the Development Area or utility improvement areas; however, exposures of the fossiliferous Saugus Formation were identified in the northern area of the Development Area and within the proposed water line alignment area within the Ranch. The heavy disturbance from previous development throughout the majority of the Development Area and all the utility improvement areas may have obstructed paleontological resources. As mentioned earlier, the Proposed Project would excavate up to 30 feet from the two fill pads and from six to 14 feet deep for the utility trench excavations. The potential to encounter buried paleontological resources is considered low in pad area portions of the Development Area. However, shallow grading activities are planned for the undisturbed northern portion of the Development Area and portions of the utility improvement areas that are underlain with the fossiliferous older Quaternary deposits and the Saugus Formation. As a result, the Proposed Project has the potential to impact buried intact paleontological resources and the following mitigation measures are recommended:

1. A qualified paleontologist shall be retained by the Applicant prior to the implementation of the Proposed Project to develop and execute a paleontological monitoring plan for the grading activities planned for the undisturbed northern portion of the Development Area and utility improvement areas within the Saugus Formation. The qualified paleontologist shall meet the qualifications established by the Society of Vertebrate Paleontologists.
2. The paleontologist shall attend a pre-grade meeting in order to become familiar with the proposed depths and patterns of grading for grading activities planned for the undisturbed northern portion of the Development Area and utility improvement areas within the Saugus Formation to provide a basis to the development of a monitoring program.
3. The paleontologist shall establish a curation agreement with an accredited facility prior to the initiation of ground-disturbing activities.
4. A paleontological monitor, supervised by the paleontologist, shall monitor all ground-disturbing activities associated with grading activities in the undisturbed northern portion of the

Development Area and utility improvement areas within the Saugus Formation. If fossils are found during ground-disturbing activities, the paleontological monitor shall be empowered to halt the ground-disturbing activities within 25 feet of the find in order to allow evaluation of the find and determination of appropriate treatment.

5. The paleontological monitor and/or the paleontologist shall collect all significant fossils encountered. All significant fossils shall be stabilized and prepared to a point of identification and permanent preservation.
6. As indicated above, some fossils from the Saugus Formation are very small specimens that would typically be missed in monitoring for large construction projects. Therefore, the paleontological monitor will collect sediment samples and process them to determine the potential for small fossils in these deposits obtained during grading activities in the undisturbed northern portion of the Development Area and utility improvement areas within the Saugus Formation.
7. The paleontologist shall prepare a final report on the monitoring. If fossils are identified, the report shall contain an appropriate description of the fossils, treatment, and curation. A copy of the report shall be filed with the Applicant and the Natural History Museum of Los Angeles, and shall accompany any curated fossils.

Native American Consultation

Results of the Sacred Lands File search through the NAHC did not indicate any known Native American cultural resources within the Development Area or the utility improvement areas (see Appendix D). As per NAHC suggested procedure, follow-up letters were sent via certified mail on January 11, 2010 to the seven Native American individuals and organizations identified by the NAHC as being affiliated with the vicinity of the Development Area to request any additional information or concerns they may have about Native American cultural resources that might be affected by the Proposed Project. Additional letters were submitted on July 21, 2010 regarding the utility improvement areas.

As of August 20, 2010, PCR has received one letter response from Mr. William Gonzales of the Fernandeno Tataviam Band of Mission Indians and has had phone conversations with Mr. Randy Guzman-Folkes and Mrs. Beverly Salazar-Folkes (see Appendix D) regarding the Proposed Project. The letter from Mr. Gonzales states: "The area of the proposed Development Area is considered highly sensitive for Native American cultural resources, as numerous archaeological sites have been documented in the surrounding areas. These areas were used for habitation, hunting, occupation, religious worship, and burials." The Tribe also requested that a tribal Native American monitor be present during ground-disturbing activities. Both Mr. and Mrs. Folkes stated that the project area is highly sensitive for Native American resources and that Native American burial sites have been identified nearby. They also recommended that all earthmoving activities be closely monitored, including grading that would take place in fill soils.

Pursuant to California Government Code section 65352.3 (Senate Bill 18), the County has invited representatives of local Native American tribes identified by the NAHC as having traditional lands or cultural places located within the Proposed Project vicinity to engage in formal government-to-government consultation with the County on the Proposed Project. On March 8, 2010, Mr. William Gonzales of the Fernandeno Tataviam Band of Mission Indians accepted the County's invitation to formally consult. This cooperative process between the County and the Native America groups is ongoing.

The majority of Proposed Project grading would occur within portions of the Development Area that contain fill soils deposited during construction of the SR-14 in the 1970s. There is a low potential to encounter archaeological resources in the fill, in the southern portion of the Development Area previously farmed, and in areas of the creek that have been disturbed over the last hundred years. In addition, there is low potential to encounter archaeological resources in the utility improvement areas given the disturbance from existing development, such as paved roads, sidewalks, and landscaping, which may have displaced resources.

1.0 INTRODUCTION

1.1 PROPOSED PROJECT AND LOCATION

The Proposed Project would provide an indoor state-of-the-art motion picture and television studio on the Development Area in the westernmost portion of the approximately 890-acre Ranch. In addition, the Proposed Project would include the construction of sewer and water improvements that would service the Development Area within the Ranch and off-site.

The Development Area is located within the Santa Clarita Valley in an unincorporated region of Los Angeles County and generally bounded by State Route (SR)-14 to the west, Placerita Canyon Road to the south, and mostly undeveloped land to the north and east. Over 23 acres of the Development Area consist of two large, mostly barren fill pads deposited by Caltrans during construction of SR-14 in the early 1970s. The grading for the Development Area would lower the height of the northern fill pad and create a smoother slope toward the east for the southern fill pad. The Proposed Project would excavate up to 30 feet from the fill pads. The sewer and water improvements would be located along developed and paved roadways and dirt access roads within the Ranch and off-site.

The Proposed Project would include twelve soundstages, production offices, six mills, a warehouse, writers/producers bungalows, a commissary, an administration building, a central plant, and an electrical substation within the Development Area. As an option, the Proposed Project would include studio offices instead of four soundstages and two mills on the northern portion of the Development Area.

The Proposed Project is located near Santa Clarita in an unincorporated region of Los Angeles County (**Figure 1, Regional Map**). It is depicted on the United States Geological Survey (USGS) 7.5' Mint Canyon, San Fernando, Oat Mountain, and Newhall, CA topographic quadrangle maps (**Figure 2, Vicinity Map**). The Development Area is located east and south of, and immediately adjacent to SR-14; north of and immediately adjacent to Placerita Canyon Road; and generally west of the eastern boundary of a Los Angeles Department of Water and Power electrical transmission corridor (**Figure 3, Aerial Photograph**). It is also surrounded by mostly undeveloped hillsides in nearly every direction.

1.2 SCOPE OF STUDY AND PERSONNEL

PCR personnel conducted a Phase I archaeological and paleontological resources assessment of the Proposed Project from April 2008 through June 2010. This assessment was conducted by PCR to determine the potential impacts to archaeological and paleontological resources associated with the Proposed Project for the purpose of complying with Section 106, CEQA, and the County of Los Angeles cultural resource guidelines.

The scope of work for this assessment included a cultural resources records search through the CHRIS-SCCIC, a SLF search through the NAHC and follow-up Native American consultation, a paleontological records search through the LACM, and a pedestrian survey of the Development Area and utility improvement areas. Personnel involved in this assessment included PCR archaeologists, Kyle Garcia and Matthew Gonzalez. The Phase I report was compiled by Mr. Gonzalez and Mr. Garcia. Project management was overseen by Mr. Garcia. Personnel qualifications are provided in Appendix A.

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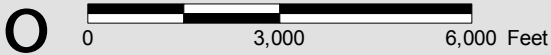
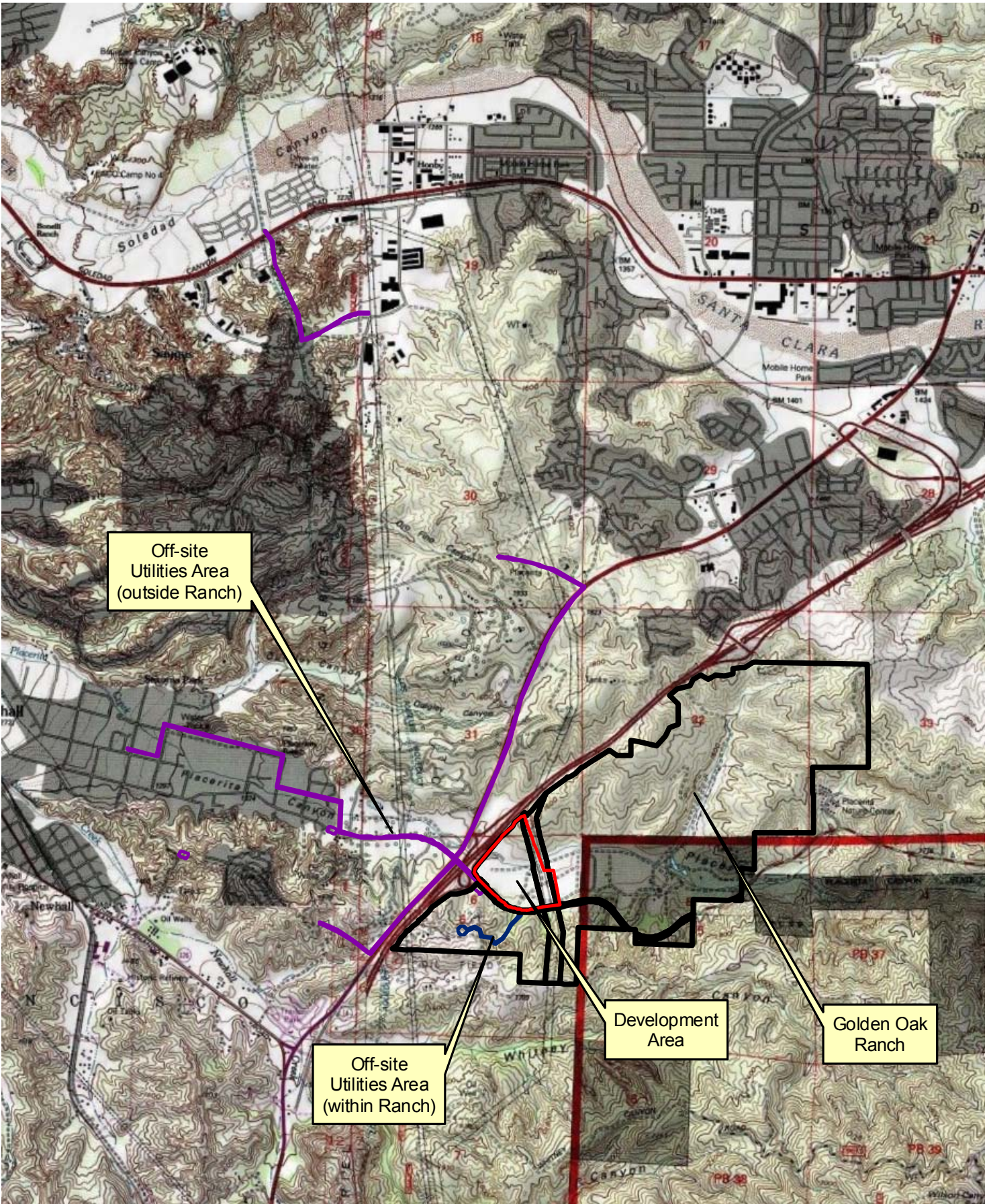


Regional Map
Disney | ABC Studios at The Ranch

Source: ESRI, 2010; PCR Services Corporation, 2010.

FIGURE
1

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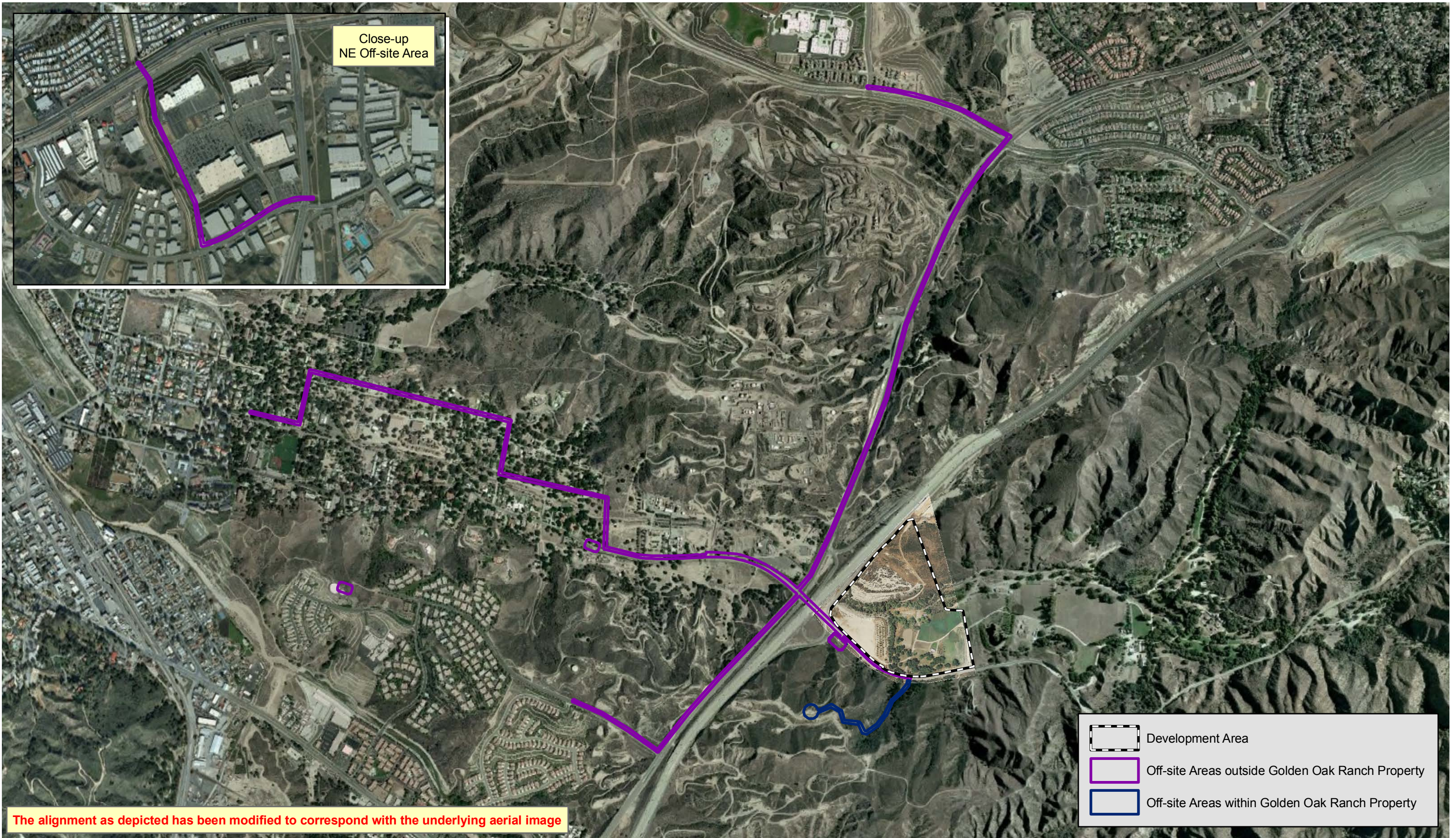


Vicinity Map
Disney | ABC Studios at The Ranch

Source: USGS Topographic Series (Mint Canyon, San Fernando, CA); PCR Services Corporation, 2010.

FIGURE
2

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2.0 REGULATORY SETTING

Numerous laws and regulations require federal, state, and local agencies to consider the effects of a Proposed Project on cultural resources. These laws and regulations establish a process for compliance, define the responsibilities of the various agencies proposing the action, and prescribe the relationship among other involved agencies (e.g., State Historic Preservation Office and the Advisory Council on Historic Preservation). The National Historic Preservation Act (NHPA) of 1966, as amended, CEQA, and the California Register of Historical Resources (California Register), Public Resources Code (PRC) 5024, are the primary federal and state laws governing and affecting preservation of historic resources of national, state, regional, and local significance. Other relevant regulations at the local level include the Conservation Element of the County's General Plan. A description of the applicable laws and regulations is provided in the following paragraphs.

2.1 FEDERAL LEVEL

2.1.1 Section 106 of the National Historic Preservation Act of 1966 (Section 106)

Compliance with Section 106 requires a sequence of steps, often referred to as the "Section 106 process." The steps include (1) identification of the area that will be affected by the proposed undertaking ("area of potential effect" [APE]); (2) identification of historic or archaeological properties; (3) evaluation of the eligibility of the properties for listing on the National Register of Historic Places; (4) determination of the level of effect of the undertaking on eligible properties; and (5) consultation with concerned parties and agreement in the form of a Memoranda of Agreement (MOA) on avoidance, minimization, or mitigation of adverse effects on eligible properties. These steps are described in more detail, as follows:

As defined in the NHPA (36 CFR 800.16(d)), an APE "is the geographic area or areas within which an undertaking may directly or indirectly cause changes in the character or use of historic properties, if such properties exist. The area of potential effect is influenced by the scale and nature of the undertaking and may be different for different kinds of effects caused by the undertaking." Federal agencies define the cultural resources APE in consultation with the State SHPO. The APE may or may not match the footprint of the project area.

Identification of historic or archaeological properties is done by means of pedestrian survey and research in appropriate historical and archaeological archives. The Secretary of the Interior has set out guidelines for qualifications for archaeologists and historians responsible for identifying, evaluating, recording, and providing treatment for historical and archaeological resources (36 CFR 61). These guidelines are updated and published by the National Park Service (NPS 1983).

Evaluation of archaeological and historical property significance follows the significance criteria of the National Register of Historic Places (National Register). The National Register was established by the NHPA in 1966 to serve as "an authoritative guide to be used by Federal, State, and local governments, private groups and citizens to identify the Nation's cultural resources and to indicate what properties should be considered for protection from destruction or impairment." (36 CFR § 60.2). The National Register recognizes properties that are significant at the national, state and local levels. Guidelines for nomination require that significant resources exhibit aspects of important themes in American history, architecture,

archaeology, engineering, and culture and possess integrity of location, design, setting, materials, workmanship, feeling, and association and that;

- a. are associated with events that have made a significant contribution to the broad patterns of our history; or
- b. that are associated with the lives of persons significant in our past; or
- c. that embody the distinctive characteristics of a type, period, or method of construction, or that possess high artistic values, or that represent a significant distinguishable entity whose components may lack individual distinction; or
- d. that have yielded or may be likely to yield, information important to history or prehistory

The criteria for eligibility to the National Register will provide the basis for evaluation and subsequent management of cultural resources in the project site.

Effects of the proposed undertaking on eligible properties are determined by analysis and agreement between consulting professional archaeologists, the State Historic Preservation Office (SHPO), and other concerned parties. The California SHPO, the Office of Historic Preservation (OHP), established by the NHPA to implement historic preservation management at the state level, is mandated to review National Register nominations, maintain data on historic properties that have been identified but not yet nominated, and consult with Federal agencies during Section 106 review. Concurrence of the OHP on site evaluations and recommendations with respect to National Register eligibility and project effects will be required.

MOAs on avoidance, minimization, or mitigation of adverse effects on eligible properties are developed through the course of the project by consulting archaeologists, SHPO, and other parties concerned with the preservation and disposition of cultural resources, including Native American groups with affiliation to the project site.

2.2 STATE LEVEL

2.2.1 California Register of Historical Resources

The California Office of Historic Preservation (OHP), as an office of the California Department of Parks and Recreation, implements the policies of the NHPA on a statewide level. The OHP also maintains the California Historic Resources Inventory. The State Historic Preservation Officer (SHPO) is an appointed official who implements historic preservation programs within the State's jurisdictions.

Created by Assembly Bill 2881, which was signed into law on September 27, 1992, the California Register is "an authoritative listing and guide to be used by state and local agencies, private groups, and citizens in identifying the existing historical resources of the state and to indicate which resources deserve to be protected, to the extent prudent and feasible, from substantial adverse change."¹ The criteria for eligibility

¹ *California Public Resources Code § 5024.1(a).*

for the California Register are based upon National Register criteria.² Certain resources are determined by the statute to be automatically included in the California Register, including California properties formally determined eligible for, or listed in, the National Register of Historic Places.³

To be eligible for the California Register, a prehistoric or historic property must be significant at the local, state, and/or federal level under one or more of the following criteria:

- a. Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage;
- b. Is associated with the lives of persons important in our past;
- c. Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values;
or
- d. Has yielded, or may be likely to yield, information important in prehistory or history.

A resource eligible for the California Register must meet one of the criteria of significance described above and retain enough of its historic character or appearance (integrity) to be recognizable as a historical resource and to convey the reason for its significance. It is possible that a historic resource may not retain sufficient integrity to meet the criteria for listing in the National Register, but it may still be eligible for listing in the California Register.

Additionally, the California Register consists of resources that are listed automatically and those that must be nominated through an application and public hearing process. The California Register automatically includes the following:

- California properties listed on the National Register and those formally Determined Eligible for the National Register.
- California Registered Historical Landmarks from No. 770 onward.
- Those California Points of Historical Interest that have been evaluated by the OHP and have been recommended to the State Historical Commission for inclusion on the California Register.

Other resources that may be nominated to the California Register include:

- Historical resources with a significance rating of Category 3 through 5.⁴
- Individual historical resources.
- Historical resources contributing to historic districts.

² *California Public Resources Code § 5024.1(b).*

³ *California Public Resources Code § 5024.1(d).*

⁴ *Those properties identified as eligible for listing in the National Register, the California Register, and/or a local jurisdiction register.*

- Historical resources designated or listed as local landmarks, or designated under any local ordinance, such as an historic preservation overlay zone.

2.2.2 California Environmental Quality Act

CEQA is the principal statute governing environmental review of projects occurring in the State. CEQA requires lead agencies to determine if a proposed project would have a significant effect on archaeological resources (PRC Sections 21000 *et seq.*). As defined in Section 21083.2 of the PRC a “unique” archaeological resource is an archaeological artifact, object, or site, about which it can be clearly demonstrated that without merely adding to the current body of knowledge, there is a high probability that it meets any of the following criteria:

- Contains information needed to answer important scientific research questions and there is a demonstrable public interest in that information.
- Has a special and particular quality such as being the oldest of its type or the best available example of its type.
- Is directly associated with a scientifically recognized important prehistoric or historic event or person.

In addition, CEQA Guidelines section 15064.5 broadens the approach to CEQA by using the term “historical resource” instead of “unique archaeological resource.” The CEQA Guidelines recognize that certain historical resources may also have significance. The CEQA Guidelines recognize that a historical resource includes: (1) a resource in the California Register of Historical Resources; (2) a resource included in a local register of historical resources, as defined in PRC section 5020.1 (k) or identified as significant in a historical resource survey meeting the requirements of PRC section 5024.1 (g); and (3) any object, building, structure, site, area, place, record, or manuscript which a lead agency determines to be historically significant or significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California by the lead agency, provided the lead agency’s determination is supported by substantial evidence in light of the whole record.

If a lead agency determines that an archaeological site is a historical resource, the provisions of section 21084.1 of the PRC and section 15064.5 of the CEQA Guidelines apply. If an archaeological site does not meet the criteria for a historical resource contained in the CEQA Guidelines, then the site is to be treated in accordance with the provisions of PRC section 21083, which is a unique archaeological resource. The CEQA Guidelines note that if an archaeological resource is neither a unique archaeological nor a historical resource, the effects of the project on those resources shall not be considered a significant effect on the environment. (CEQA Guidelines §15064.5(c)(4)).

Also under CEQA, discovery of human remains requires evaluation by the county coroner of the nature of the remains and cause of death. If the remains are determined to be of Native American origin, the NAHC is asked to determine the descendants who are to be notified or, if unidentifiable, to establish procedures for burial. The NAHC is also responsible for conducting SLF searches to assist in the identification of Native American or prehistoric resources that may be adversely effected by proposed projects. The SLF refers to the inventory of Native American or prehistoric resources that the NAHC maintains. The primary source of information for the SLF is California Native American individuals and groups. They provide valuable locational information to the NAHC regarding resources that may not otherwise be shared with the CHRIS-

SCCIC, other regional information centers, or other archives that maintain records on Native American or prehistoric resources. As a result, it has been established as an industry-wide standard to conduct SLF searches for all projects subject to CEQA to ensure that an exhaustive effort has taken place to identify Native American or prehistoric resources. Moreover, the NAHC recommends follow-up contact with Native American groups and/or individuals identified by the NAHC as having affiliation with the proposed project vicinity. NAHC recommended procedures for follow-up contact includes distribution of a project description, location map, and request for information about Native American resources that may be affected by the proposed project. Results of the follow-up contact provide information regarding the presence of any locations in the vicinity of the proposed project that are culturally sensitive to Native Americans that may not be included in the SLF. Native American burials in California are protected by several statutes from California Public Resources Code Chapter 1.75 Section 5097.9 – 5097.991 and Section 7050 of the Health and Safety Code.

2.2.3 Paleontological Resources

Paleontological resources are also afforded protection under CEQA. Appendix G (part V) of the CEQA Guidelines provides guidance relative to significant impacts on paleontological resources, which states, “a project will normally result in a significant impact on the environment if it will ...disrupt or adversely affect a paleontological resource or site or unique geologic feature, except as part of a scientific study.” Section 5097.5 of the PRC specifies that any unauthorized removal of paleontological remains is a misdemeanor. Further, the California Penal Code Section 622.5 sets the penalties for damage or removal of paleontological resources.

2.3 LOCAL LEVEL

2.3.1 County of Los Angeles General Plan

Cultural heritage resources include known archaeological and paleontological areas, sites and structures, which have been identified in authoritative surveys of archaeological societies, historical societies and academic studies. Within the unincorporated area, the following guidelines apply to proposed development in areas identified in the above mentioned authoritative surveys and for sites found to have historical or historical and scientific value:

- a. A literature search for valid archaeological or paleontological surveys shall be conducted (for each initial study of a public or private project).
- b. If the literature search indicates a strong likelihood that an archaeological or paleontological resource would be impacted by the proposed project, a study of the development area shall be made by a qualified archaeologist or paleontologist. This study shall determine the scientific value of finds, if any, and a recommendation as to their preservation or disposition.
- c. Prior to approving a project, the approving agency shall make a determination based on the above report as to what conditions would be necessary to preserve the archaeological or paleontological resources.
- d. When determination has been made to salvage the finds, a reasonable period of time shall be allowed prior to the start of grading to adequately salvage the site.

It is recommended that any materials collected during surface surveys or salvage operations be donated to an appropriate nonprofit institution. In the event the property owner wishes to retain possession of the artifacts found, it is desirable that archaeologists or paleontologist be allowed to study and photograph the artifacts.⁵

Historic resources located within unincorporated areas of Los Angeles County fall within the jurisdiction of the County's Historical Landmarks and Records Commission. The Commission is responsible for considering and recommending to the Los Angeles County Board of Supervisors local historical landmarks deemed worthy of registration either as "California Historical Landmarks" or as "Points of Historical Interest," and may consider and comment for the Board on applications relating to the National Register of Historic Places. At the county level, relevant regulations related to historical landmarks include Chapter 3.30 of the Los Angeles County Code as amended which recognizes the CEQA Guidelines Section 15064.5 as a threshold for the identification and protection of these resources.

⁵ *County of Los Angeles General Plan Land Use Element – Cultural Heritage Resources, Nov. 25, 1980.*

3.0 ENVIRONMENTAL SETTING

The Development Area consists of approximately 56 acres bounded generally to the south by Placerita Canyon Road, to the west and north by the Antelope Valley Freeway (SR-14), and to the east by the eastern boundary of the LADWP transmission corridor. It is generally separated from other uses by these roadways and mostly undeveloped hillsides. Other uses in the greater vicinity of the Ranch include oil fields, Placerita Canyon State Park, and residential subdivisions and commercial uses to the north within the City of Santa Clarita.

Film production, agriculture and some oil exploration are the Ranch's predominant past and current functions. The primary use of the Ranch today is as an outdoor set location for television and film productions. Situated in Placerita Canyon, the sets take advantage of the Ranch's panoramic views which are ideal backdrops for location shoots. These views include the nearby San Gabriel Mountains, which provide a dramatic background to the south. Present agricultural uses include a tree farm and agricultural fields. In the past, the Ranch has also supported horse breeding and cattle ranching activities.

Elevation of the Development Area ranges from approximately 1400 to 1570 feet above mean sea level. For purposes of this analysis, the Development Area was divided into three areas: northern and southern fill pads, Placerita Creek, and the area east of the southern fill pad. The northern and southern fill pads are located adjacent to SR-14 and exhibit a relatively good to moderate ground visibility. The vegetation within the pad areas was limited to disturbed/ruderal areas with small patches of grassland in the northern pad area. Placerita Creek flows east to west between the two fill pads and is characterized by a dense riparian habitat that supports mature oaks and other shrubs. A portion of the area to the east of the southern fill pad is characterized by a dense grassland and oak-woodland habitat. Much of the area to the east of the fill pads has been used for agricultural uses and outdoor filming and thus has been disturbed over time.

Due to the heavy gravel content of the fill pads, minimal vegetation exists within the fill pad areas of the Development Area. Vegetation communities in other areas of the Development Area consist of coast live oak woodland, southern willow scrub, mixed riparian willow woodland, buckwheat scrub/chamise chaparral, disturbed buckwheat scrub/chamise chaparral, and invasive, non-native grasses in the agricultural fields (PCR Services Corporation 2010).

4.0 CULTURAL SETTING

4.1 PREHISTORIC BACKGROUND

Prehistory is most easily discussed chronologically, in terms of environmental change and recognized cultural developments. Several chronologies have been proposed for inland Southern California, the most widely accepted of which is Wallace's four-part Horizon format (1955), which was later updated and revised by Claude Warren (1968). The advantages and weaknesses of Southern California chronological sequences are reviewed by Warren (in Moratto 1984), Chartkoff and Chartkoff (1984), and Heizer (1978). The following discussion is based on Warren's (1968) sequence, but the time frames have been adjusted to reflect more recent archaeological findings, interpretations, and advances in radiocarbon dating.

4.1.1 Paleo-Indian Period (ca. 13,000-11,000 years before present [YBP])

Little is known of Paleo-Indian peoples in inland southern California, and the cultural history of this period follows that of North America in general. Recent discoveries in the Americas have challenged the theory that the first Americans migrated from Siberia, following a route from the Bering Strait into Canada and the Northwest Coast some time after the Wisconsin Ice Sheet receded (ca. 14,000 YBP), and before the Bering Land Bridge was submerged (ca. 12,000 YBP). A coastal migration route somewhat before that time is also possible. The timing, manner, and location of this crossing are a matter of debate among archaeologists, but the initial migration probably occurred as the Laurentide Ice Sheet melted along the Alaskan Coast and interior Yukon. The earliest radiocarbon dates from the Paleo-Indian Period in North America come from the Arlington Springs Woman site on Santa Rosa Island. These human remains date to approximately 13,000 YBP (Johnson, et al. 2002). Other early Paleo-Indian sites include the Monte Verde Creek site in Chile (Meltzer, et al. 1997) and the controversial Meadowcroft Rockshelter in Pennsylvania. Both sites have early levels dated roughly at 12,000 YBP. Life during the Paleo-Indian Period was characterized by highly mobile hunting and gathering. Prey included megafauna such as mammoth and technology included a distinctive flaked stone toolkit that has been identified across much of North America and into Central America. They likely used some plant foods, but the Paleo-Indian toolkit recovered archaeologically does not include many tools that can be identified as designed specifically for plant processing.

The megafauna that appear to have been the focus of Paleo-Indian life went extinct during a warming trend that began approximately 10,000 years ago, and both the extinction and climatic change (which included warmer temperatures in desert valleys and reduced precipitation in mountain areas) were factors in widespread cultural change. Subsistence and social practices continued to be organized around hunting and gathering, but the resource base was expanded to include a wider range of plant and game resources. Technological traditions also became more localized and included tools specifically for the processing of plants and other materials. This constellation of characteristics has been given the name "Archaic" and it was the most enduring of cultural adaptations to the North American environment.

4.1.2 Archaic Period (ca. 11,000-3,500 YBP)

The earliest Archaic Period life in inland southern California has been given the name San Dieguito tradition, after the San Diego area where it was first identified and studied (Warren 1968). Characteristic artifacts include stemmed projectile points, crescents and leaf-shaped knives, which suggest a continued subsistence,

focus on large game, although not megafauna of the earlier Paleo-Indian period. Milling equipment appears in the archaeological record at approximately 7,500 years ago (Moratto 1984:158). Artifact assemblages with this equipment include basin milling stones and unshaped manos, projectile points, flexed burials under cairns, and cogged stones, and have been given the name La Jolla Complex (7,500–3,000 YBP). The transition from San Dieguito life to La Jolla life appears to have been an adaptation to drying of the climate after 8,000 YBP, which may have stimulated movements of desert peoples to the coastal regions, bringing milling stone technology with them. Groups in the coastal regions focused on mollusks, while inland groups relied on wild-seed gathering and acorn collecting.

4.1.3 Late Prehistoric Period (ca. 3,500 YBP-A.D. 1769)

Cultural responses to environmental changes around 4,000–3,000 YBP included a shift to more land-based gathering practices. This period was characterized by the increasing importance of acorn processing, which supplemented the resources from hunting and gathering. Meighan (1954) identified the period after A.D. 1400 as the San Luis Rey complex. San Luis Rey I (A.D. 1400–1750) is associated with bedrock mortars and milling stones, cremations, small triangular projectile points with concave bases and Olivella beads. The San Luis Rey II (A.D. 1750–1850) period is marked by the addition of pottery, red and black pictographs, cremation urns, steatite arrow straighteners and non-aboriginal materials (Meighan 1954:223, Keller and McCarthy 1989:6). Work at Cole Canyon and other sites in Southern California suggests that this complex, and the ethnographically described life of the native people of the region, were well established by at least 1,000 YBP (Keller and McCarthy 1989:80).

Prehistoric archaeological resources identified in the greater urban Los Angeles area include remains with very old dates, such as the Los Angeles Man remains recovered in 1936 by Work Progress Administration (WPA) workers digging a storm drain along the Los Angeles River. Radiocarbon dates have indicated an age greater than 20,000 years old, although small amount of collagen tested from the remains makes the date suspect. The remains were found in association with mammoth bones, however, so the remains can be considered Pleistocene or earliest Holocene in age.⁶ One of the oldest sets of securely dated human remains discovered in North America, with an age between 11,000 and 10,000 years ago, were identified at Arlington Springs on Santa Rosa Island, which is located approximately 100 miles directly west of the Development Area.⁷

4.1.4 Ethnographic Context

The Development Area lies in the middle of a territory where three Native American groups stake a claim: the Gabrielino, the Chumash, and the Tataviam. The Gabrielino, particularly speakers of the Fernandeano dialect (Bean and Smith 1978) were located near the southern border of Chumash territory. The Gabrielino were one of the most populous ethnic nationalities of aboriginal southern California. Gabrielino territory included the Los Angeles Basin, the coast of Aliso Creek in Orange County to the south, and Topanga Canyon in the north, the four southern Channel Islands, and watersheds of the Los Angeles, San Gabriel, and Santa Ana Rivers. Their name is derived from their association with Mission San Gabriel Archangel.

⁶ Moratto, Michael (1984) *California Archaeology*. Academic Press, New York.

⁷ Rick, Torben C., Jon M. Erlandson, René L. Vellanoweth, and Todd J. Braje (2005) *From Pleistocene Mariners to Complex Hunter-Gatherers: The Archaeology of the California Channel Islands*. *Journal of World Prehistory* 19:169-228.

The Gabrielino were not the first inhabitants of the Los Angeles Basin, but arrived around 500 B.C. The language of the Gabrielino people has been identified as a Cupan language within the Takic family, which is part of the larger Uto-Aztecan language family. Uto-Aztecan speakers arrived in southern California in what is known as the Shoshonean migration, which current archaeological and linguistic evidence suggests originated in of the Great Basin and displaced the already established Hokan speakers. The Gabrielino were advanced in their culture, social organization, religious beliefs, and art and material production. Class differentiation, inherited chieftainship, and intervillage alliances were all components of Gabrielino society. At the time of European contact, the Gabrielino were actively involved in trade using shell and beads as currency. The Gabrielino were known for excellent artisanship in the form of pipes, ornaments, cooking implements, inlay work, and basketry. The Gabrielinos evolved an effective economic system which managed food reserves (storage and processing), exchanged goods, and disturbed resources. Otherwise, few specifics are known of Gabrielino life. Data collected and presented by Kroeber (1925) indicate that homes were made of tule mats on a framework of poles, but size and shape have not been recorded. Basketry and steatite vessels were used rather than ceramics; ceramics became common only toward the end of the mission period in the nineteenth century. The Gabrielino held some practices in common with other groups in southern California, such as the use of jimsonweed in ceremonies as did the Luiseño and Juaneño, but details of the practices and the nature of cultural interaction between the Gabrielino and other groups in southern California are unknown.

The Ventureño Chumash lived along the coast between the Fernandeano Gabrielino to the south and the Alliklik/Tataviam over the Santa Susana Mountains to the east (Kroeber 1925). The Chumash do not appear to share ties with the Gabrielino or Alliklik. Linguistic evidence suggests that the Chumash language is either of Hokan stock, one of the ancient language families of California, or, as indicated by more recent studies, a linguistic isolate (Johnson 1997). The Gabrielino speak a language grouped with the Takic Branch of the Uto-Aztecan family of languages. There are no known remaining native speakers of Alliklik/Tataviam, but analyses of the few recorded words of their language suggests that they had affinities with the Serrano peoples, now known in mountain and desert regions to the east, also Uto-Aztecan, or Shoshonean, origin (Kroeber 1925; Johnson 1997).

The area now known as Chumash territory has one of the longest occupation histories in North America (Rick, et al. 2005). Occupation that is identifiably Chumash dates to ca. 600 BC (Arnold and Graesh 2004) and possible antecedent social complexity has been identified as early as 6500 BP (Glassow 2004). The earliest historical accounts are minimal and provide sparse descriptions of Chumash settlements, subsistence and population. The original Chumash-speaking population prior to European contact has been estimated at approximately 18,000 to 22,000 (Grant 1978). Chumash culture at the time of contact is considered to be among the most complex observed among hunter-gatherers and was supported by a vast maritime economy (Moratto 1984). The Chumash lived in villages of around 150 to 250 people. The villages consisted of houses, ceremonial buildings, subterranean sweat houses, and places for storing goods. Their houses were made of willow frames covered with tule mats and were often located near sources of fresh water (Schmittroth 1998). Coastal communities appear to have been located in places that provided abundant marine resources and easy access for their ocean going boats.

Archaeological data in conjunction with the ethnographic records have been used to reconstruct the way-of-life for the Chumash. Semi-sedentary groups on the mainland moved from winter villages to temporary camps to gather resources, such as grasses, roots, tubers, and bulbs. Marine resource procurement was important during seasonal periods when seals and sea lions gathered in coastal areas. Interior groups

moved to the coast during the spring and summer to collect shellfish. Coastal groups returned to their villages in late summer and early fall to harvest large schooling fish such as tuna. Pine nuts and acorns gathered in the fall along with berries were stored for use during the winter. Hunting also was important during the fall. Winter months were spent in villages, where residents relied on stored foodstuffs and occasional fresh fish (Grant 1978).

Analysis of new marine core data from the Santa Barbara Channel region has identified the period A.D. 450-1300 as one of the most unstable intervals of the past 3,000 years (Kennett and Kennett 2000). Analysis of archaeological data from across the Chumash region has identified major social changes within this interval, including development of fully sedentary villages after A.D. 650, intensification of fishing ca. A.D. 950, intensification of exchange between coast and islands A.D. 650 to 1300, an apparent decrease in violent injuries after A.D. 1300 [some conflict continued to time of Spanish (Grant 1978)], and distribution of Chumash dialects in horizontal transects extending from the Central Valley to the coast by ca. A.D. 1000 (Johnson 2000). Several Chumash scholars have proposed this development of social complexity was in response to changes in the distribution and availability of major resources (see also Arnold 1997; Arnold and Graesh 2004; reviews in Johnson 2000; Kennett and Kennett 2000; Raab and Larson 1997).

The upper Santa Clara River Valley region was inhabited by an ethnolinguistic group known as the Tataviam. Although very little information was recorded about the Tataviam, they are generally accepted as members of the Takic language of the Uto-Aztecan family (King and Blackburn 1978). They were linguistically related to other Native American occupants of the Los Angeles County region, which includes the Gabrielino/Fernandeño of the Los Angeles Basin and the Kitanemuk of the Antelope Valley.

Based on the existing documentation, the Tataviam are believed to have inhabited the upper Santa Clara River drainage, with their territory extending from Piru in Ventura County, east to just beyond Vasquez Rocks and Agua Dulce, and south to Newhall. Their territory to the north included the middle reaches of Piru Creek, the Liebre Mountains and the south westernmost fringe of the Antelope Valley (ibid; Kroeber 1925; Earle 1990; Johnson and Earle 1990). It is likely that their northern boundary ran along the northern foothills of the Liebre Mountains (i.e., the southern edge of the Antelope Valley), and then crossed to the southern slopes of the Sawmill Mountains and the Sierra Pelona, extending as far east as Soledad Pass (Earle 1990: 94). Ethnographically, they do not appear to have controlled the Leona Valley or areas to the north and it is not certain if the Elizabeth Lake area was within their sphere of influence. To the south, their boundary is thought to have run along the crest of the western arm of the San Gabriel Mountains, north of San Fernando, and westward beyond Fremont and San Fernando Passes to the Santa Susana Mountains (Johnson and Earle 1990: 96).

Tataviam religion almost unquestionably was similar, if not identical, to that of their surrounding neighbors. They practiced a form of religion called Shamanism. Shamanism assumes a direct and personal relationship between each individual and the supernatural world functions as its central element. Personal relationships with the supernatural were enacted by entering a trance or hallucinatory state, usually based on the ingestion of psychoto-mimetic plants such as jimsonweed or native tobacco. Individual Shamans were believed to maintain an unusual degree of control over supernatural power and they served as ritual specialists. Ceremonies and rites were infrequent in occasion and limited in type. Most importantly, shamans served as healers or curers and believed the etiology of diseases and their cures lie in the supernatural world. Shamans are also known to have produced the rock art of this region (Whitley 1992, 1996), which depicted the hallucinations and spirits they observed during their vision quests.

The Tataviam were similar to their Fernandeano and Chumash neighbors (King and Blackburn 1978). Like these groups to the south and west, the Tataviam were hunter-gatherers, and their subsistence emphasized gathering yucca, acorns, juniper berries, sage seeds and islay. Small game, such as rabbits and rodents, were hunted on a regular basis and represent a more significant contribution to the overall meat in their diet than larger game. While almost nothing is known of Tataviam social and political organization, using analogies from ethnographic studies of surrounding groups, it can be assumed that they were organized in a series of *tribelets*. Similar to the *naciones* described by Earle (1990) for the Antelope Valley, these social units are found to be characteristic of much of California aboriginal socio-political organization (cf. Kroeber 1925).

The Tataviam were one of the earliest groups contacted by Spanish missionaries when a number of their villages were visited and recorded by members of the Portolá expedition of 1769. Nonetheless, a general lack of information on this group has survived. By 1810, all Tataviam had been baptized and moved to Mission San Fernando where they were quickly absorbed by other groups through intermarriage. The last speaker of Tataviam died in 1916 (King and Blackburn 1978).

Information about historical Tataviam village locations is provided by a few word lists and mission records collected during the initial period of Spanish occupation. Known villages include: *piirukung* and *akavaya*, both near modern Piru; *tsavayung*, Rancho San Francisco; *etseng*, *kuvung* and *huyung*, on Piru Creek above Piru; *tochonanga*, near the original Newhall town-site spring; and *kwarung*, Elizabeth Lake. A mixed Chumash-Tataviam population lived at *kamulus*, near modern Rancho Camulos (King and Blackburn 1978: 535-6; Johnson and Earle 1990).

4.2 HISTORIC BACKGROUND

The primary themes associated with the past activities that occurred on the Ranch during the 19th and 20th centuries are ranching and agriculture, gold and oil exploration, and film production. For a more complete historic background, please refer to PCR's technical report titled: *Preliminary Historic Resources Assessment and Potential Impact Analysis for Proposed Improvements to Golden Oak Ranch, 19802 Placerita Canyon Road, Los Angeles County, California*.

5.0 METHODS

5.1 CULTURAL RESOURCES RECORDS SEARCH

On January 17, 2010, PCR archaeologist Matthew Gonzalez conducted an in-house cultural resource records search at the CHRIS-SCCIC at the California State University, Fullerton. This records search included a review of all recorded historical resources and archaeological sites within a one-mile radius of the Development Area as well as a review of cultural resource reports and historic topographic maps on file. In addition, PCR reviewed the California Points of Historical Interest (CPHI), the California Historical Landmarks (CHL), the California Register, the National Register, and the California State Historic Resources Inventory (HRI) listings. On January 28, 2010, PCR commissioned a second record search through the CHRIS-SCCIC. The purpose of the record searches is to determine whether or not there are previously recorded archaeological or historical resources within the Development Area that require evaluation. The results also provide a basis for assessing the sensitivity of the Development Area for additional and buried cultural resources.

In May 2010, PCR commissioned an additional records search to encompass the utility improvement areas that are located outside of the Ranch and were not covered during the original records search for the Development Area.

5.2 PALEONTOLOGICAL RESOURCES RECORDS SEARCH

On December 28, 2009, PCR commissioned a paleontological records search through the LACM. This records search entailed an examination of current geologic maps and known fossil localities inside and within the general vicinity of the Development Area. PCR also review geologic maps provided by URS Corporation. Results of the record search indicate whether or not there are previously recorded paleontological resources within the Development Area that require evaluation. The results also provide a basis for assessing the sensitivity of the Development Area for additional and buried paleontological resources. PCR determined that an additional paleontological records search for the utility improvement areas was unnecessary because the scope of the records search for the Development Area was large enough to cover these areas.

5.3 SACRED LANDS FILE SEARCH AND NATIVE AMERICAN CONSULTATION

On December 28, 2009, PCR commissioned a SLF records search of the Development Area through the NAHC and conducted follow-up consultation with Native American groups and/or individuals identified by the NAHC as having affiliation with the Development Area vicinity. Each Native American group and/or individual listed was sent a project notification letter and map and was asked to convey any Native American issues or concerns with the Proposed Project. The letter included information such as Development Area location and a brief description of the Proposed Project. Results of the search and follow-up consultation will provide information as to the nature and location of additional prehistoric or Native American resources to be incorporated in the impact analysis whose records may not be available at the CHRIS-SCCIC.

In July 2010, PCR commissioned an additional SLF records search to encompass the utility improvement areas that are located outside of the Ranch and were not covered during the original records search for the Development Area. Follow-up letters regarding the utility improvement areas were also sent via electronic

mail to three Native American groups and/or individuals (Folkes, Guzman-Folkes, and Gonzalez) that provided comments on the original letters submitted in January 2010.

5.4 PEDESTRIAN SURVEY

PCR archaeologist, Kyle Garcia, conducted a pedestrian survey of the Development Area on June 6, 2008 and the utility improvement areas on March 17, 2010. The surveys entailed a walk-over of these areas using transect intervals spaced not more than 15 meters (m) apart. Some additional areas immediately adjacent to the Development Area extending along the SR-14 right-of-way and along the Creek were also examined in order to identify areas of native soil. In all accessible areas of the survey coverage area, the ground surface was examined for archaeological and paleontological resources. Cut-banks and eroded areas were also examined for buried soils or other cultural deposits. A Trimble® GeoXT™ sub-meter GPS unit was used for navigation and documenting distribution of Development Area and utility improvement area conditions. Detailed notes and digital photographs were also taken of the Development Area, utility improvement areas, and surrounding vicinity.

6.0 RESULTS

6.1 CULTURAL RESOURCES RECORDS SEARCH

6.1.1 Development Area

Results of the cultural resources records search through the CHRIS-SCCIC revealed that 24 studies have been conducted within a one-mile radius of the Development Area. These studies were conducted from 1978 to 2007 and encompass approximately 25 percent of the one-mile search radius around the Development Area. The boundary of one of these studies encompasses a limited area (less than 5 percent of the entire Development Area) of the northern Development Area along SR-14. This study included an archaeological pedestrian survey of a CalTrans drainage improvement project that yielded negative results (Kirkish 2002). In addition, a records search was conducted in 2004 as part of the approval of a Conditional Use Permit for outdoor filming on the Ranch that revealed that no known cultural resources were recorded within the Development Area.

One prehistoric or Native American resource (CA-LAN-446) has been previously recorded within one-mile of the Development Area. This resource is described as a possible fire hearth eroding out of an exposed bank along Placerita Creek with a complete pestle and small amount of charcoal and red-oxidized patches of soil associated with it. Seven historic-period resources are located within a one-mile radius of the Development Area. These resources include the two abandoned segments of the previous alignment of the Sierra Highway (P-19-002898), Placerita Canyon Road cobble and mortar culverts (P-19-186881), the Los Angeles Aqueduct (CA-LAN-2105H), the Los Angeles Aqueduct Transmission Lines (CA-LAN-2132H), Pacific Coast Oil Road (CA-LAN-2150H), two cabins known as the Walker Cabins (P-19-003133) and some historic oil machinery and tools (P-19-003134) (see **Table 1**, *Resources Located Within a One-Mile Radius of the Development Area*). One isolated resource was identified within one-mile of the Development Area; however, no records were collected from the CHRIS-SCCIC regarding its contents and condition. All of these resources, however, would not be impacted by the Proposed Project as they are located over a quarter-mile away from the Development Area.

No resources listed in the CPHI, CHL, California Register, National Register, LAHCM, or the HRI were identified within one-mile of the Development Area.

6.1.2 Utility Improvements Areas

Results of the cultural resources records search through the CHRIS-SCCIC revealed that 79 studies have been conducted within a one-mile radius of the utility improvement areas. These studies were conducted from 1974 to 2010 and encompass approximately 75 percent of the one-mile search radius around the utility improvement areas. Numerous studies encompass the utility improvement areas which demonstrate that these areas have been surveyed by an archaeologist in the past. Three historic-period resources have been identified within the immediate vicinity of the utility improvement areas. These resources include CA-LAN-2105H, -2132H, and P-19-002898 (see Table 1). CA-LAN-2105H is the Los Angeles Aqueduct Transmission Line, CA-LAN-2132H is the Los Angeles Aqueduct, and P-19-002898 consists of two abandoned segments of the previous alignment of Sierra Highway. CA-LAN-2105H and CA-LAN-2132H will not be impacted by the Proposed Project. P-19-002898 is not considered significant pursuant to CEQA nor is it eligible for listing in

Table 1

Resources Located Within a One-Mile Radius of the Development Area

Year	Site Designation	Description	Location	NR Status
1971	CA-LAN-446	Possible Hearth and one Complete Pestle	1 mi E	N/A
1992	CA-LAN-2105H	Los Angeles Aqueduct	.30 mi W	N/A
1992	CA-LAN-2132H	Los Angeles Aqueduct Transmission Line	.30 mi W	N/A
1993	CA-LAN-2150H	Pacific Coast Oil Road	.60 mi S	N/A
2000	P-19-002898	Two Abandoned Segments of the Sierra Highway	.20 mi W	N/A
2002	P-19-003133	Walker Cabins	.80 mi E	N/A
2002	P-19-003134	Oil Machinery and Tools	.80 mi E	N/A
2004	P-19-186881	Placerita Canyon Culverts	.25 mi E	N/A
N/A	P-19-100253	(Isolated Resource)	.50 mi W	N/A

* Year of initial site recordation NR – National Register

Source: CHRIS-SCCIC, February 2010

the National Register given its lack of structural integrity. In addition, P-19-002898 is not associated with an important event or significant person and further investigation is not likely to yield important information beyond its recordation. As a result, impacts to resource P-19-002898 are not considered a significant impact on the environment.

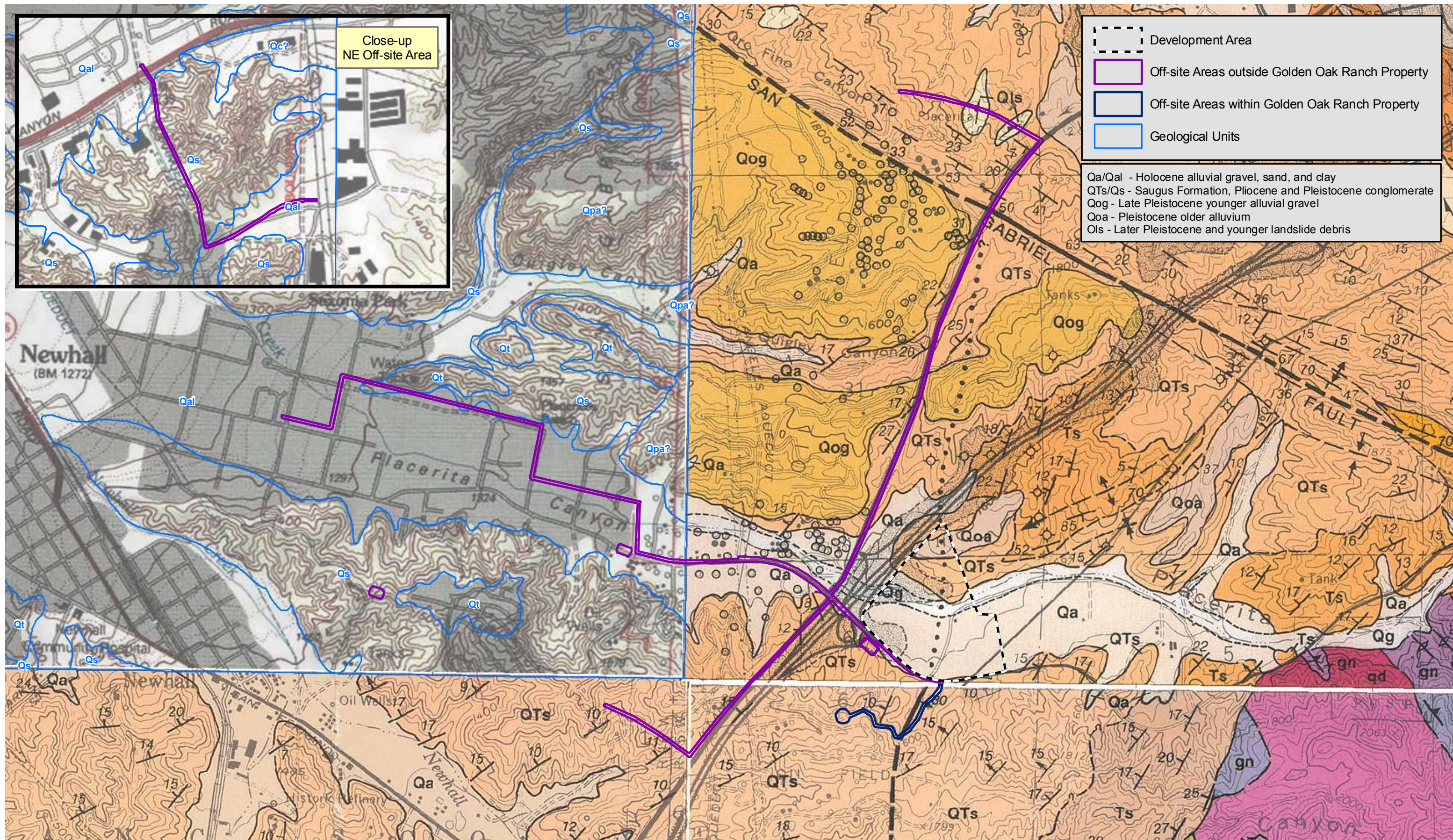
No resources listed in the CPHI, CHL, California Register, National Register, LAHCM, or the HRI were identified within utility improvement areas.

The cultural resources records search results summary letters are provided in Appendix B.

6.2 PALEONTOLOGICAL RESOURCES RECORDS SEARCH

Results of the paleontological resources records search through the LACM files and review of URS Corporation (URS) geologic maps indicate that most of the Development Area and utility improvement areas (lower lying portions) are situated upon surface deposits of younger Quaternary Alluvium, derived primarily as fluvial deposits from Placerita Creek that flows through the middle of the proposed Development Area (**Figure 4, Geologic Map**). The younger Quaternary Alluvium typically do not contain significant vertebrate fossils, at least in the uppermost layers, and there are no vertebrate fossil localities anywhere nearby from these deposits. However, the younger Quaternary deposits are most likely underlain by older Quaternary or Tertiary deposits at a relatively shallow depth, which are known to have highly significant vertebrate fossils. According to the LACM, the more elevated terrain in the northern portion of the Development Area there contain exposures of the Pliocene Saugus Formation that may be overlain in part by older Quaternary high terrace deposits. Figure 4 also depicts the Saugus Formation in many areas of the utility improvement areas.

The nearest vertebrate fossil localities in the older Quaternary deposits are located approximately five miles south of the Development Area around the Van Norman Reservoir. These localities included LACM 1733, that produced specimens of fossil horse (*Equus*); LACM 3397 that produced fossil specimens of bison (*Bison*); LACM 5745 that produced fossil specimens of mastodon (*Mammut*), and horse (*Equus*); and LACM 7152 that



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produced fossil specimens of mammoth (*Mammuthus*), and bison (*Bison*). The next closest vertebrate fossil localities in the Saugus Formation are LACM 6803-6804 and 6871, approximately six miles northwest of the Development Area around Saugus and Castaic Creeks. LACM 6803-6804 produced fossil specimens of camel (*Camelidae*) and horse (*Equus*) and LACM 6871 produced fossil specimens of dog (*Canidae*) horse (*Equus*), and camel (*Camelidae*). Farther northwest, near Val Verde, are fossil localities LACM 6062-6063 that produced fossil specimens of alligator lizard (*Gerrhonotus*), rabbit (*Leporidae*), pocket mouse (*Perognathus*), pocket gopher (*Thomomys*), and horse (*Equus*). South-southwest of the Development Area north of California Highway 118 and west of the Van Norman Reservoir, locality LACM 6601 produced specimens of fossil deer (*Cervidae*) and a rare specimen of fossil tapir (*Tapirus merriami*). Since the fossiliferous Saugus Formation currently underlies the undisturbed northern portion of the Development Area and portions of the utility improvement areas, the paleontological sensitivity of these areas is considered to be moderate to high.

The paleontological resources record search results summary letter is provided in Appendix C.

6.3 SACRED LANDS FILE SEARCH AND NATIVE AMERICAN CONSULTATION

Results of the SLF searches through the NAHC did not indicate any known Native American cultural resources within the Development Area or utility improvement areas (see Appendix D). Pursuant to NAHC suggested procedure, follow-up letters were sent via certified mail on January 11, 2010 to the eight Native American individuals and organizations identified by the NAHC as being affiliated with the vicinity of the Development Area to request any additional information or concerns they may have about Native American cultural resources that may be affected by the Proposed Project. In July 2010, follow-up letters regarding the utility improvement areas were also sent via electronic mail to three Native American groups and/or individuals (Folkes, Guzman-Folkes, and Gonzalez) that provided comments on the original letters submitted in January 2010.

As of August 20, 2010, PCR has received one letter response from Mr. William Gonzales of the Fernandeano Tataviam Band of Mission Indians and has had phone conversations with Mr. Randy Guzman-Folkes and Mrs. Beverly Salazar-Folkes (see Appendix D) regarding the Proposed Project. The letter from Mr. Gonzales states: "The area of the proposed Development Area is considered highly sensitive for Native American cultural resources, as numerous archaeological sites have been documented in the surrounding areas. These areas were used for habitation, hunting, occupation, religious worship, and burials." The Tribe also requested that a tribal Native American monitor be present during ground-disturbing activities. Both Mr. and Mrs. Folkes stated that the project area is highly sensitive for Native American resources and that Native American burials have been identified nearby. They also recommended that all earthmoving activities be closely monitored, including grading that would take place in fill soils.

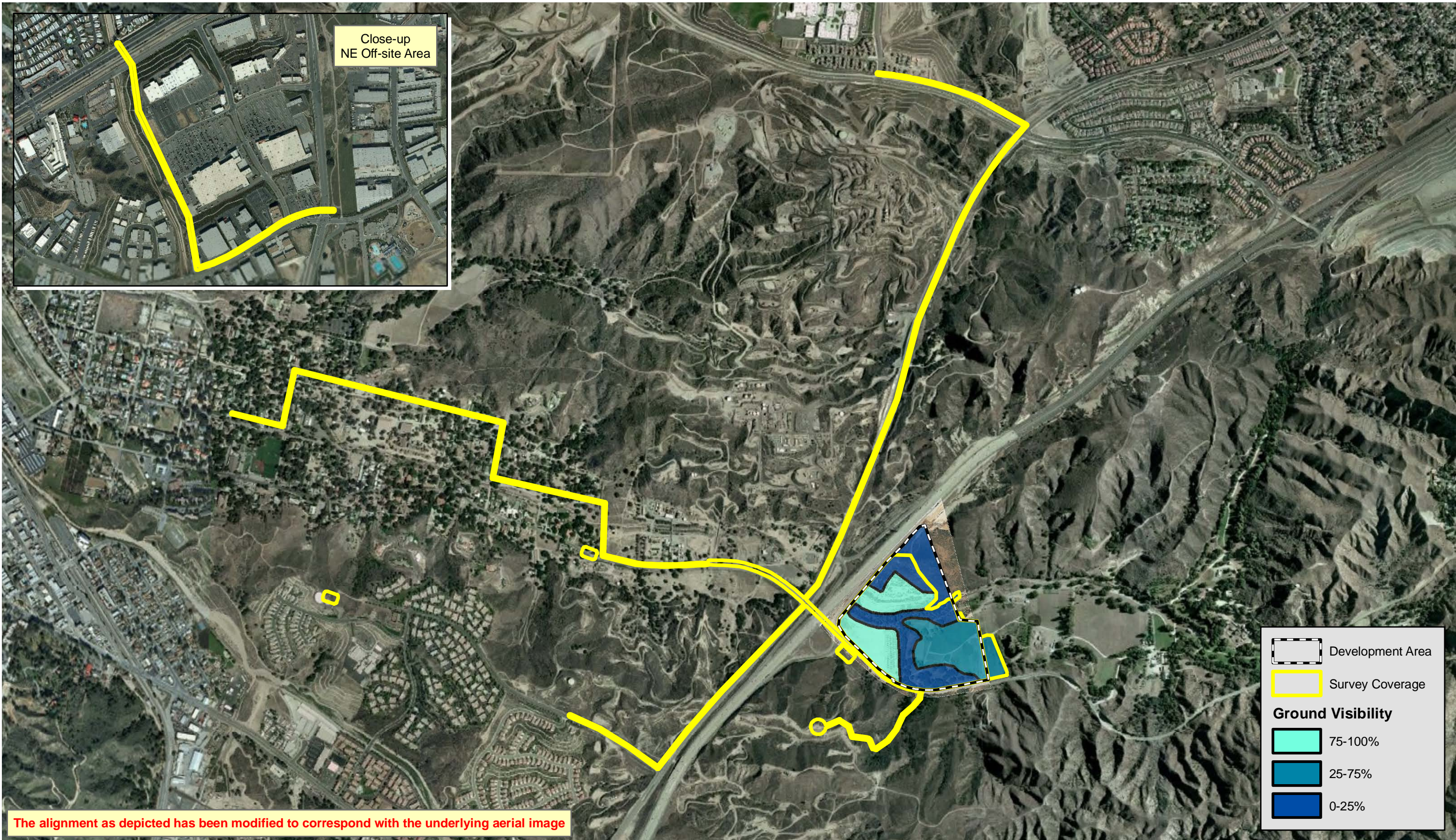
Pursuant to California Government Code section 65352.3 (Senate Bill 18), the County has invited representatives of local Native American tribes identified by the Native American Heritage Commission as having traditional lands or cultural places located within the Proposed Project vicinity to engage in formal government-to-government consultation with the County on the Proposed Project. On March 8, 2010, Mr. William Gonzales of the Fernandeano Tataviam Band of Mission Indians accepted the County's invitation to formally consult. This cooperative process between the County and the Native America groups is ongoing.

A summary of the response letters and telephone log are provided in **Table 2**, *Summary of Native American Response Letters and Telephone Log*. The NAHC SLF records search results, the Native American contact list, and other Native American consultation documentation is provided in Appendix D.

Table 2**Summary of Native American Response Letters and Telephone Log**

Name	Affiliation	Phone/Letter	Comments
Charles Cooke	Chumash, Fernandeno, Tataviam, Kitanemuk	Left message for Mr. Cook on 02/04/10 at about 11am.	No response to date.
Beverly Salazar Folkes	Chumash, Tataviam, Fernandeno	Spoke to Ms. Folkes on 02/04/10 at about 11:15am. Sent email letter regarding utility improvement areas on 07/21/10.	Mrs. Folkes stated that the Development Area is in a very sensitive area with known burial sites near by. She also said that even though the majority of the Proposed Project is located in fill, there is still a very good chance of finding culturally sensitive resources during earth moving activities. This is due to the lack of laws and concern during the time the fill was placed on the site. Ms. Folkes is recommending at the very least archaeological monitoring and if possible, Native American Monitoring during all earth moving activities. She also mentioned that she would like to be kept apprised as to any updates for this site through email. No response to email letter regarding utility improvement areas.
William Gonzales, Cultural/Environ Department.	Fernandeno Tataviam Band of Mission Indians	Left message for Mr. Gonzales on 2/19/09 at 10:22 am. Sent email letter regarding utility improvement areas on 07/21/10.	Received letter response (Appendix D). The letter recommends monitoring of earthmoving operations. No response to follow-up phone call to date. No response to email letter regarding utility improvement areas.
Ron Andrade, Director	LA City/County Native American Indian Comm.	Left message for Mr. Andrade on 02/04/10 at about 11am.	No response to date.
Delia Dominguez	Kitanemuk & Yowlumne Tejon Indians	Left message for Ms. Dominguez on 02/04/10 at about 11am.	No response to date.
John Valenzuela, Chairperson	San Fernando Band of Mission Indians	Left message for Mr. Valenzuela on 02/04/10 at about 11:30am.	No response to date.
Randy Guzman-Folkes	Chumash, Fernandeno, Tataviam, Shoshone Paiute, Yaqui	Spoke to Mr. Folkes on 02/04/10 at 11:30 am. Sent email letter regarding utility improvement areas on	Mr. Folkes stated that the Development Area is in a very sensitive area with known burial sites near by. He also stated that the entire Santa Clarita area is known to them as a "Shrine Area." Mr. Folkes

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Photograph 1: Overview of southern Pad Area, view northwest.



Photograph 2: Overview of northern Pad Area, view south.



Photograph 3: Overview of Basin area showing vegetation cover, view south.

7.0 SUMMARY OF RESULTS AND RECOMMENDED MITIGATION

7.1 ARCHAEOLOGICAL RESOURCES

Results of the cultural resources records search through the CHRIS-SCCIC revealed that one prehistoric or Native American resource (CA-LAN-446) has been previously recorded within one-mile of the Development Area. This resource is described as a possible fire hearth eroding out of an exposed bank along Placerita Creek with a complete pestle and small amount of charcoal and red-oxidized patches of soil associated with it. Seven historic-period resources are located within a one-mile radius of the Development Area. These resources include the two abandoned segments of the previous alignment of Sierra Highway (P-19-002898), Placerita Canyon Road cobble and mortar culverts (P-19-186881), the Los Angeles Aqueduct (CA-LAN-2105H), the Los Angeles Aqueduct Transmission Lines (CA-LAN-2132H), Pacific Coast Oil Road (CA-LAN-2150H), two cabins known as the Walker Cabins (P-19-003133) and some historic oil machinery and tools (P-19-003134). One isolated resource was identified within one mile of the Development Area; however, no records were collected from the CHRIS-SCCIC regarding its contents and condition. Although the current content and condition of these resources is unknown, their identification confirms the presence of human occupation and subsistence activities in the region as early as the prehistoric period. Moreover, these resources would not be impacted by the Proposed Project because they are located at least a quarter-mile from the Development Area.

Three historic-period resources have been identified within the immediate vicinity of the utility improvement areas. These resources include the Los Angeles Aqueduct (CA-LAN-2105H), the Los Angeles Aqueduct Transmission Lines (CA-LAN-2132H) and P-19-002898 (two abandoned segments of the previous alignment of Sierra Highway). CA-LAN-2105H and CA-LAN-2132H will not be impacted by the Proposed Project. P-19-002898 is not considered significant pursuant to CEQA nor is it eligible for listing in the National Register of Historic Places (per Section 106) given its lack of structural integrity. In addition, P-19-002898 is not associated with an important event or significant person and further investigation is not likely to yield important information beyond its recordation. As a result, impacts to resource P-19-002898 are not considered a significant impact on the environment.

No archaeological resources were identified by PCR during the pedestrian survey of the Development Area or the utility improvement areas.

The Proposed Project would grade into the two fill pads in Development Area and add fill to the area east of the southern fill pad. These two fill pads comprise approximately 23.6 acres and are bisected into a northern and southern pad by Placerita Creek, which extends in an east-west direction across the Development Area. The northern fill pad is approximately 12 acres, approximately 60 feet deep, and approximately 10 to 25 feet below the elevated SR-14 to the northwest. The southern fill pad is approximately 11.6 acres, 45 to 50 feet deep, and at approximately the same grade as Placerita Canyon Road at its southern limit. The pads were created in the early 1970s when Caltrans constructed SR-14, and the spoils from the associated grading were dumped in their current location in the Development Area.

The Proposed Project would also involve excavations of trenches (for the pipeline) and grading of pads (for the associated facilities) for the utility improvement areas. Specifically, the trenches would measure

approximately four feet wide and six feet deep for the water lines and approximately four feet wide and four to 14 feet deep for the sewer lines. While the design specifications have not yet been determined for all of the supporting utility facilities, the pad for the proposed water tank is anticipated to be less than 5 feet deep.

The Proposed Project would excavate up to 30 feet of the two pads and as deep as 14 feet for utility line trenches, but given the composition of the fill pads, the negative results of the survey, and the disturbance from previous development that has likely displaced resources, the potential to encounter buried archaeological resources is considered low and no archaeological monitoring is recommended during the implementation of the Proposed Project. However, given the known prehistoric and historic occupation of the area around the Development Area and utility improvement areas and based on recent correspondence with local Native American tribes, the potential to find archaeological resources in previously imported fill still exists. As a result, the following mitigation measures are recommended:

1. If archaeological resources are encountered during implementation of the project, ground-disturbing activities should temporarily be redirected from the vicinity of the find. The Applicant should immediately notify a qualified archaeologist of the find. The archaeologist should coordinate with the Applicant as to the immediate treatment of the find until a proper site visit and evaluation is made by the archaeologist. Treatment may include the implementation of an archaeological testing or salvage program. At a minimum, all archaeological resources recovered will be documented on California Department of Parks and Recreation Site Forms to be filed with the CHRIS-SCCIC. The archaeologist shall prepare a final report about the find to be filed with the Applicant, the County, and the CHRIS-SCCIC, as required by the California Office of Historic Preservation. The report shall include documentation and interpretation of resources recovered. Interpretation will include full evaluation of the eligibility with respect to the California Register of Historical Resources and CEQA. The Applicant shall designate repositories in the event that resources are recovered. The archaeologist shall also determine the need for archaeological and Native American monitoring for any ground-disturbing activities in the area of the find thereafter.
2. If human remains are encountered unexpectedly during construction excavation and grading activities, pursuant to California Health and Safety Code Section 7050.5, the Applicant shall halt ground-disturbing activities within the area of the human remains and notify the County Coroner. If the remains are determined to be of Native American descent, the coroner shall have 24 hours to notify the California Native American Heritage Commission (NAHC). The NAHC shall identify the person(s) thought to be the Most Likely Descendant of the deceased Native American, who shall have 48 hours from notification by the NAHC to inspect the site of the discovery of Native American remains and to recommend to the Applicant or landowner means for treating and disposition, with appropriate dignity, the human remains and any associated grave goods. The Applicant or landowner shall reinter the remains and associated grave goods with appropriate dignity on the property in a location not subject to further disturbance.

With the implementation of the above mitigation measures, impacts to archaeological resources from the Proposed Project would be less than significant.

7.2 PALEONTOLOGICAL RESOURCES

Results of the paleontological resources records search through the LACM files indicate that most of the Development Area (lower lying portions, or basin area) is situated upon surface deposits of younger Quaternary Alluvium, derived primarily as fluvial deposits from Placerita Creek that flows through the middle of the Development Area. The younger Quaternary Alluvium typically does not contain significant vertebrate fossils, at least in the uppermost layers, and there are no vertebrate fossil localities in the immediate vicinity from these deposits. However, the younger Quaternary deposits are most likely underlain by older Quaternary or Tertiary deposits at a relatively shallow depth, which are known to contain highly significant vertebrate fossils. According to the LACM and upon review of URS Corporation geologic maps, in the more elevated terrain in the northern portion of the proposed Development Area there are exposures of the Pliocene Saugus Formation that may be overlain in part by older Quaternary high terrace deposits. The nearest vertebrate fossil localities in the older Quaternary deposits are located five miles south of the Development Area around the Van Norman Reservoir. These localities included specimens of fossil horse (*Equus*), bison (*Bison*), mastodon (*Mammut*), and mammoth (*Mammuthus*). The next closest vertebrate fossil localities in the Saugus Formation are located six miles northwest of the Development Area around Saugus and Castaic Creeks. These localities produced fossil specimens of camel (*Camelidae*), horse (*Equus*), and dog (*Canidae*). Farther northwest, near Val Verde, are fossil localities that include specimens of alligator lizard (*Gerrhonotus*), rabbit (*Leporidae*), pocket mouse (*Perognathus*), pocket gopher (*Thomomys*), and horse (*Equus*). South-southwest of the Development Area north of California Highway 118 and west of the Van Norman Reservoir are specimens of fossil deer (*Cervidae*) and a rare specimen of fossil tapir (*Tapirus merriami*).

No paleontological resources were identified on the surface during the pedestrian survey of the Development Area or utility improvement areas; however, exposures of the fossiliferous Saugus Formation were identified in the northern area of the Development Area and within the proposed water line alignment area within the Ranch. The heavy disturbance from previous development throughout the majority of the Development Area and all the utility improvement areas may have obstructed paleontological resources. As mentioned earlier, the Proposed Project would excavate up to 30 feet from the two fill pads and from six to 14 feet deep for the utility trench excavations. The potential to encounter buried paleontological resources is considered low in the pad area portions of the Development Area. However, shallow grading activities are planned for the undisturbed northern portion of the Development Area and portions of the utility improvement areas that are underlain with the fossiliferous older Quaternary deposits and the Saugus Formation. As a result, the Proposed Project has the potential to impact buried intact paleontological resources and the following mitigation measures are recommended:

1. A qualified paleontologist shall be retained by the Applicant prior to the implementation of the Proposed Project to develop and execute a paleontological monitoring plan for the grading activities planned for the undisturbed northern portion of the Development Area and utility improvement areas within the Saugus Formation. The qualified paleontologist shall meet the qualifications established by the Society of Vertebrate Paleontologists.
2. The paleontologist shall attend a pre-grade meeting in order to become familiar with the proposed depths and patterns of grading for grading activities planned for the undisturbed northern portion of the Development Area and utility improvement areas within the Saugus Formation to provide a basis to the development of a monitoring program.

3. The paleontologist shall establish a curation agreement with an accredited facility prior to the initiation of ground-disturbing activities.
4. A paleontological monitor, supervised by the paleontologist, shall monitor all ground-disturbing activities associated with grading activities in the undisturbed northern portion of the Development Area and utility improvement areas within the Saugus Formation. If fossils are found during ground-disturbing activities, the paleontological monitor shall be empowered to halt the ground-disturbing activities within 25 feet of the find in order to allow evaluation of the find and determination of appropriate treatment.
5. The paleontological monitor and/or the paleontologist shall collect all significant fossils encountered. All significant fossils shall be stabilized and prepared to a point of identification and permanent preservation.
6. As indicated above, some fossils from the Saugus Formation are very small specimens that would typically be missed in monitoring for large construction projects. Therefore, the paleontological monitor will collect sediment samples and process them to determine the potential for small fossils in these deposits obtained during grading activities in the undisturbed northern portion of the Development Area and utility improvement areas within the Saugus Formation.
7. The paleontologist shall prepare a final report on the monitoring. If fossils are identified, the report shall contain an appropriate description of the fossils, treatment, and curation. A copy of the report shall be filed with the Applicant and the Natural History Museum of Los Angeles, and shall accompany any curated fossils.

7.3 NATIVE AMERICAN CONSULTATION

Results of the Sacred Lands File search through the NAHC did not indicate any known Native American cultural resources within the Development Area and utility improvement areas (see Appendix D). Pursuant to NAHC suggested procedure, follow-up letters were sent via certified mail on January 11, 2010 to the seven Native American individuals and organizations identified by the NAHC as being affiliated with the vicinity of the Development Area to request any additional information or concerns they may have about Native American cultural resources that may be affected by the Proposed Project. Additional letters were submitted on July 21, 2010 regarding the utility improvement areas.

As of August 20, 2010, PCR has received one letter response from Mr. William Gonzales of the Fernandeano Tataviam Band of Mission Indians and has had phone conversations with Mr. Randy Guzman-Folkes and Mrs. Beverly Salazar-Folkes (see Appendix D) regarding the Proposed Project. The letter from Mr. Gonzales states: "The area of the proposed Development Area is considered highly sensitive for Native American cultural resources, as numerous archaeological sites have been documented in the surrounding areas. These areas were used for habitation, hunting, occupation, religious worship, and burials." The Tribe also requested that a tribal Native American monitor be present during ground-disturbing activities. Both Mr. and Mrs. Folkes stated that the project area is highly sensitive for Native American resources and that Native American burial sites have been identified nearby. They also recommended that all earthmoving activities be closely monitored, including grading that would take place in fill soils.

Pursuant to California Government Code section 65352.3 (Senate Bill 18), the County has invited representatives of local Native American tribes identified by the Native American Heritage Commission as having traditional lands or cultural places located within the Proposed Project vicinity to engage in formal government-to-government consultation with the County on the Proposed Project. On March 8, 2010, Mr. William Gonzales of the Fernandeño Tataviam Band of Mission Indians accepted the County's invitation to formally consult. This cooperative process between the County and the Native America groups is ongoing.

The majority of Proposed Project grading would occur within portions of the Development Area that contain fill soils deposited during construction of the SR-14 in the 1970s. There is a low potential to encounter archaeological resources in the fill, in the southern portion of the Development Area previously farmed, and in areas of the creek that have been disturbed over the last hundred years. In addition, there is low potential to encounter archaeological resources in the utility improvement areas given the disturbance from existing development, such as paved roads, sidewalks, and landscaping, that may have displaced resources.

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APPENDIX A – PERSONNEL QUALIFICATIONS

Education

- B.A., Physical Anthropology, University of California, Santa Barbara, California, 2004

Continuing Education

- Section 106 Compliance: An Introduction to Professional Practice under Section 106 of the National Historic Preservation Act, 2009
- Cultural Resources Orientation and Pro-Seminar, County of Riverside, 2009
- 40-Hour HAZWOPER Training, 2009
- Cultural Resources Protection Under CEQA and Other Legislative Mandates, UCLA Extension, 2008
- Riverside County Archaeology and Cultural Sensitivity Training Program, 2007

Professional Affiliations

- Society for American Archaeology
- Society for California Archaeology
- Pacific Coast Archaeological Society
- Orange County Natural History Museum

Summary

Kyle Garcia has over six years of experience in the academic and professional field of archaeology. His coursework and consulting career have provided him with knowledge of archaeological resources in coastal, interior, and island settings. Mr. Garcia specializes in faunal analysis and has worked in faunal laboratories at UCSB and the Santa Barbara Museum of Natural History. He has managed projects, conducted surveys, construction monitoring, impact analyses, and site assessments. Mr. Garcia has also evaluated resources for the California Register of Historical Resources and National Register of Historic Places, conducted test excavations, historic building research, technical report writing, client/agency coordination, Native American coordination, artifact processing, laboratory management, and site recordation.

Experience

Mr. Garcia has contributed his services and expertise to over 100 projects at PCR subject to requirements of the California Environmental Quality Act (CEQA), Section 106 of the National Historic Preservation Act (NHPA), the National Environmental Quality Act (NEPA), and other federal, State, and local regulations. These projects included infrastructure, utility, parks, mixed-use, residential, industrial, and commercial developments that served a variety of public and private sector clients throughout California and Arizona.

Mr. Garcia has also gained valuable experience with recording historic and prehistoric archaeological sites with Garmin, Magellan, and sub-meter Trimble GeoXT Global Positioning System (GPS) units. He has worked with Geographic Information Systems (GIS) software such as ArcPad, ArcGIS, and ArcView, and developed methods for using these products to accurately and efficiently record archaeological sites. Also during his tenure at PCR, Mr. Garcia has been cross-trained in paleontological mitigation monitoring and assisted in the excavations of a Miocene whale fossil near Irvine, California.

Specific Project Experience: Mr. Garcia has served as Project Manager or Deputy Project Manager for over 50 Southern California Edison (SCE) projects that were subject to requirements of CEQA, Section 106 of the NHPA, and other local ordinances. These projects included deteriorated pole replacements, conduit and vault installations, and distribution circuit installations (above ground and underground) located throughout SCE's service area. Mr. Garcia not only managed the budgets and supervised the work for these projects, but also conducted most of the record searches, surveys, report writing, site recordation, and client/agency coordination for these projects. In addition, Mr. Garcia supervised and participated in the emergency on-call archaeological survey and monitoring services for SCE property that was affected by the Devore Heights, Corral and Santiago Fires located in Devore, Malibu and eastern Orange County, California, respectively. These projects entailed rapid response services including close-interval surveys, construction monitoring, and sensitivity assessments for SCE property in areas damaged by the fires.

Mr. Garcia has also conducted numerous cultural resources assessments in support of Mitigated Negative Declarations and Environmental Impact Reports for projects throughout the southern California region. These include transportation, utility, commercial, residential, solid waste, and school projects

Presentations: Mr. Garcia presented a paper at the 72nd Annual Meeting for the Society of American Archaeology Conference in Austin, Texas in 2007. The paper focused on prehistoric 'yoni' features encountered on a project site proposed to be developed in western Riverside County, California. The project was subject to requirements of CEQA and Section 106 of the NHPA.



Education

- B.A., Classical Archaeology, University of California, Santa Barbara, California, 2005
- Archaeological Studies Program, Accent Center, Rome, Italy 2004
- College Year in Athens, Athens, Greece, 2003

Continuing Education

- Cultural Resources Protection Under CEQA and Other Legislative Mandates, UCLA Extension, 2008
- Riverside County Archaeology and Cultural Sensitivity Training Program, 2007
- 40-Hour HAZWOPER Training, 2009

Professional Affiliations

- Society for American Archaeology

Summary

Matthew Gonzalez has over six years of academic and professional experience in archaeological and paleontological investigations. He applies his training in the analysis of ancient Greek and Roman antiquities to state-side archaeological investigations. Mr. Gonzalez has considerable experience in both surface reconnaissance and subsurface investigations, marine fossil identification, as well as artifact analysis and classifications, specifically faunal and lithic analysis.

Experience

Mr. Gonzalez has experience in several aspects of archaeological and paleontological investigations. He has experience in the identification of historic and pre-historic archaeological resources. Mr. Gonzalez has led field crews on site investigations and participated in surveying, mapping, excavating, wet/dry screening, site recording, and soil analysis. He has applied these skills in projects necessitating Phase I and II data recovery in California and Arizona. Mr. Gonzalez is skilled in the application of Geographic Information Systems (GIS)/Global Positioning Systems (GPS) to facilitate field investigations. He uses ArcView and Google Earth to develop field maps useful to plot artifacts and survey sites.

In addition to his field work, Mr. Gonzalez has hands-on laboratory experience working both for PCR and the Archaeology department at the University of California, Santa Barbara. His laboratory experience includes processing archaeological collections including cleaning, sorting, cataloging archiving/preserving, fossil analysis, and drawing specimens associated with the Chumash site SBA 3737 in Santa Ynez Valley. Mr. Gonzalez regularly performs record searches, mapping, and digitizing for projects. He routinely prepares letter, Phase I, Section 106, and CEQA-Plus reports; Initial Study and Environmental Impact Report (EIR) sections; and Native American letters. He is also skilled in client coordination and SB 18 Consultation.

Archaeological & Paleontological Surveys: Due to his archaeology and paleontology cross-training, Mr. Gonzalez has performed archaeological and paleontological surveys on a number of projects throughout Southern California and Arizona. He assisted in the archaeological and paleontological surveys, site recording, and excavation for two large-scale projects including the 3,000-acre Heritage Fields Great Park in Irvine, California and for approximately 10,000 acres of the 19,000-acre La Osa Ranch in Pinal County, Arizona. Additional projects include a paleontological survey for the Del Mar Hilton Gardens Inn project site in San Diego. He conducted both archaeological and paleontological surveys for the 136-acre Trabuco Canyon 119 site in Orange County, Rosamond recycled water pipeline project in Kern County, various projects for the San Bernardino Associated Governments, LAX Master Plan, Cesar Chavez Roundabout, and over 25 Southern California Edison (SCE) projects including the Tea Fire emergency response project. His archaeological survey experience include the 175-acre Oasis Date Garden project in Riverside County; the Lytle Creek and Nuevo Road developments in San Bernardino and Riverside counties, respectively; and the 2,200-acre Skyline Ranch Project in Santa Clarita Valley.

Archaeological & Paleontological Monitoring: Mr. Gonzalez has also conducted mitigation and construction monitoring for several projects. He conducted archaeological surveys, recording, excavations, artifact processing, and construction monitoring to achieve mitigation compliance for a KB Home residential development in Riverside County, California. He provided paleontological monitoring for the Stephen S. Wise Temple in Los Angeles which included the discovery of various species of the Upper Miocene/Modelo Formation. Mr. Gonzalez provided archaeological and paleontological monitoring for the Heritage Fields Great Park in addition to his survey work. His additional archaeological/paleontological monitoring projects include Building 319 of the Second Harvest Food Bank on the former El Toro Marine Corps Air Station; a John Laing Homes Newland Street development in Huntington Beach; the 16-acre Rossmore development in Redlands; and a number of SCE projects.



APPENDIX B – CULTURAL RESOURCES RECORDS SEARCH RESULTS

South Central Coastal Information Center
California State University, Fullerton
Department of Anthropology MH-426
800 North State College Boulevard
Fullerton, CA 92834-6846
657.278.5395 / FAX 657.278.5542
anthro.fullerton.edu/sccic.html - sccic@fullerton.edu
California Historical Resources Information System
Orange, Los Angeles, and Ventura Counties

February 11, 2010

SCCIC #10230.7087

Mr. Kyle Garcia
PCR Services Corporation
1 Venture, Suite 150
Irvine, CA 92618-3329
949.753.7001

RE: Records Search for the Golden Oaks Ranch Project in Los Angeles County

Dear Mr. Garcia,

As per your request received on January 27, 2010, a records search was conducted for the above referenced project. The search includes a review of all recorded archaeological sites within a 1-mile radius of the project site as well as a review of cultural resource reports on file. In addition, the California Points of Historical Interest (PHI), the California Historical Landmarks (CHL), the California Register of Historical Resources (CR), the National Register of Historic Places (NR), the California State Historic Resources Inventory (HRI), and the City of Los Angeles Historic-Cultural Monuments listings were reviewed for the above referenced project. The following is a discussion of the findings.

Mint Canyon, Newhall, Oat Mountain, and San Fernando, CA. USGS 7.5' Quadrangles

ARCHAEOLOGICAL RESOURCES:

Six archaeological sites (19-002105, 19-002132, 19-002150, 19-002898, 19-003133, and 19-003134) have been identified within a 1-mile radius of the project site. No archaeological sites are located within the project site. Two sites are listed on the Archaeological Determination of Eligibility (DOE) list (see enclosed). One isolate (19-100253) have been identified within a 1-mile radius of the project site. No isolates are located within the project site.

HISTORIC RESOURCES:

One additional cultural resource (19-186881) has been identified within a 1-mile radius of the project site. No cultural resources are located within the project site.

Copies of our historic maps - Fernando (1900), San Fernando (1900, 1940), and Santa Susana (1903, 1941) 15' USGS - are enclosed for your review.

The California Point of Historical Interest of the Office of Historic Preservation, Department of Parks and Recreation, lists no properties within a 1-mile radius of the project site.

The California Historical Landmarks of the Office of Historic Preservation, Department of Parks and Recreation, lists one property within a 1-mile radius of the project site (see below).

No. 590 Lang

On September 5, 1876, Charles Crocker, President of the southern Pacific Company, drove a gold spike here to complete his company's San Joaquin Valley line, the first rail connection of Los Angeles with San Francisco and transcontinental lines. Located at Soledad Canyon, Lang Station Rd, 0.4 mi S of State Hwy 14 (P.M. 35.6), Shadow Pines Blvd, 4.7 mi E of Canyon Country
19-186569

The California Register of Historic Places lists no properties within a 1-mile radius of the project site. These are properties determined to have a National Register of Historic Places Status of 1 or 2, a California Historical Landmark numbering 770 and higher, or a Point of Historical Interest listed after 1/1/1998.

The National Register of Historic Places lists no properties within a 1-mile radius of the project site.

The City of Los Angeles Historic-Cultural Monuments lists no properties within a 1-mile radius of the project site.

The California Historic Resources Inventory lists one possible property that has been evaluated for historical significance within a 1-mile radius of the project site (see enclosed list).

PREVIOUS CULTURAL RESOURCES INVESTIGATIONS:

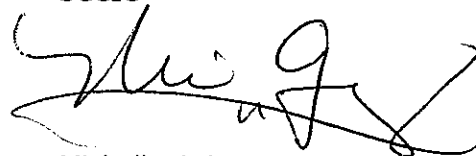
Twenty-four studies (LA175, LA779, LA810, LA1362, LA1466, LA1692, LA2090, LA2317, LA2756, LA2972, LA3690, LA4008, LA4104, LA4200, LA4464, LA6092, LA7000, LA7500*, LA7861, LA8792, LA8906, LA8958, LA9102, and LA9287) have been conducted within a 1-mile radius of the project site. Of these, one is located within the project site. There are 36 additional investigations located on the Mint Canyon, Newhall, Oat Mountain, San Fernando, CA. 7.5' USGS Quadrangles that are potentially within a 1-mile radius of the project site. These reports are not mapped due to insufficient locational information.

(* = Located within the project site)

Please forward a copy of any resulting reports from this project to the office as soon as possible. Due to the sensitive nature of archaeological site location data, we ask that you **do not include** resource location maps and resource location descriptions in your report if the report is for public distribution. If you have any questions regarding the results presented herein, please contact the office at 657.278.5395 Monday through Thursday 9:00 am to 3:30 pm.

Should you require any additional information for the above referenced project, reference the SCCIC number listed above when making inquiries. Requests made after initial invoicing will result in the preparation of a separate invoice.

Sincerely,
SCCIC



Michelle Galaz
Lead Staff Researcher

Enclosures:

- (X) Maps – 7.5' USGS Quadrangle, 15' USGS Quadrangle – 11 pages
- (X) Bibliography – 6 pages
- (X) Bibliography of Unmapped Reports – 10 pages
- (X) HRI – 1 page
- (X) ADOE – 1 page
- (X) National Register Status Codes – 1 page
- (X) Confidentiality Form
- (X) Invoice #10230.7087

South Central Coastal Information Center

California State University, Fullerton
Department of Anthropology MH-426
800 North State College Boulevard
Fullerton, CA 92834-6846
657.278.5395 / FAX 657.278.5542
anthro.fullerton.edu/sccic.html - sccic@fullerton.edu
California Historical Resources Information System
Orange, Los Angeles, and Ventura Counties

May 26, 2010

SCCIC #10534.7314

Mr. Kyle Garcia
PCR Services Corporation
1 Venture, Suite 150
Irvine, CA 92618
949-753-7001

RE: Records Search for Golden Oaks Ranch Project Addendum

Dear Mr. Garcia,

As per your request received on May 19, 2010, an expedited records search was conducted for the above referenced project. The search includes a review of all recorded archaeological sites within a 1-mile radius of the project site as well as a review of cultural resource reports on file. In addition, the California Points of Historical Interest (PHI), the California Historical Landmarks (CHL), the California Register of Historical Resources (CR), the National Register of Historic Places (NR), the California State Historic Resources Inventory (HRI), and the City of Los Angeles Historic-Cultural Monuments listings were reviewed for the above referenced project. The following is a discussion of the findings.

Mint Canyon, Newhall, Oat Mountain, and San Fernando, CA. USGS 7.5' Quadrangles

ARCHAEOLOGICAL RESOURCES:

Eighteen archaeological sites (19-000351, 19-001829, 19-001939, 19-001940, 19-001941, 19-001948, 19-002097, 19-002098, 19-002105*, 19-002132*, 19-002146, 19-002147, 19-002150, 19-002898*, 19-003043, 19-003133, 19-003134, and 19-003585) have been identified within a 1-mile radius of the project site. Three archaeological sites are located within the project site. Eight sites are listed on the Archaeological Determination of Eligibility (DOE) list. Five isolates (19-100133, 19-100134, 19-100253, 19-100340, and 19-100503) have been identified within a 1-mile radius of the project site. No isolates are located within the project site.

(* = Located within the project site)

HISTORIC RESOURCES:

Thirteen additional cultural resources (19-180765, 19-186881, 19-188010, 19-188109, 19-188269, 19-188598, 19-188599, 19-188600, 19-188601, 19-188602, 19-188603, 19-188604, and 19-188605) have been identified within a 1-mile radius of the project site. No cultural resources are located within the project site.

The California Point of Historical Interest of the Office of Historic Preservation, Department of Parks and Recreation, lists three properties within a 1-mile radius of the project site (see below).

LAN-030 Good Templars Hall (Pardee Home)

24275 Walnut, Newhall

The Good Templars hall Golden State Lodge #21 was constructed and organized in 1890 by H. Clay Needham, one of the early developers of the community and a Prohibition candidate for president in 1920. Acquired and moved to its present location by the Pardee family in 1895, it remained the family residence until sold to the Pacific Telephone Company during World War II. Tom Mix lived on part of this property prior to 1920, when his studio was located in Newhall.

LAN-031 Saugus Station

24107 San Fernando Road, Newhall

Saugus Station was built circa 1887 on land obtained by the Southern Pacific Railroad from original developer Henry Mayo Newhall. Saugus Station was on the historic rail line that opened southern California to the east coast in 1876. The station was originally located on San Fernando Road at Drayton.

19-187086

LAN-032 William S. Hart Park Ranch and Museum

24151 Newhall Avenue, Newhall

Hart Park Ranch and Museum covers a total of 254 acres, including 110 acres of wilderness) purchased by Hart in 1920 and named Horseshoe Ranch. The original ranch house was built in 1910 by former owner Babacock Smith. "La Loma de los Vientos" mansion was constructed between 1925 and 1928, and is considered one of the finest examples of Spanish-Mexican architecture in southern California. William S. Hart was a pioneer in the film industry setting many firsts in Western movies.

#19-186530

The California Historical Landmarks of the Office of Historic Preservation, Department of Parks and Recreation, lists one property within a 1-mile radius of the project site (see below).

No. 688 Lyons Station Stagecoach Stop

This site was the location of a combination store, post office telegraph office, tavern and stage depot accommodating travelers during the Kern River gold rush in the early 1850s. A regular stop for Butterfield and other early California stage lines, it was purchased by Sanford and Cyrus Lyons in 1855, and by 1868 at least twenty families lived here. Eternal Valley Memorial Park had called their final resting place "The Garden of the Pioneers." Located at the Eternal Valley Memorial Park, 23287 N Sierra Hwy, near State Hwy 13 and San Fernando Rd, Newhall

19-186536

The California Register of Historic Places lists no properties within a 1-mile radius of the project site. These are properties determined to have a National Register of Historic Places Status of 1 or 2, a California Historical Landmark numbering 770 and higher, or a Point of Historical Interest listed after 1/1/1998.

The National Register of Historic Places lists no properties within a 1-mile radius of the project site.

The City of Los Angeles Historic-Cultural Monuments lists no properties within a 1-mile radius of the project site.

The California Historic Resources Inventory lists two properties that have been evaluated for historical significance possibly within a 1-mile radius of the project site (see enclosed list).

PREVIOUS CULTURAL RESOURCES INVESTIGATIONS:

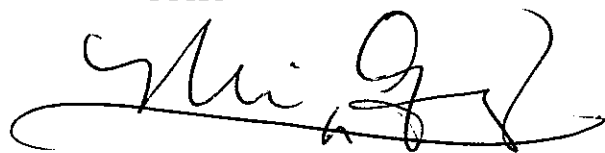
Seventy-nine studies (LA54, LA175, LA587, LA643, LA779, LA809, LA810, LA852, LA855, LA984, LA1032, LA1106, LA1117, LA1153*, LA1360, LA1362, LA1466*, LA1515, LA1692, LA1775*, LA1896, LA2090, LA2193, LA2284, LA2317, LA2503, LA2562, LA2648, LA2756*, LA2972, LA2996, LA3289, LA3387, LA3644, LA3661, LA3690, LA3731, LA3840, LA3895, LA3913, LA4008*, LA4058, LA4059, LA4104, LA4159, LA4200, LA4250, LA4251, LA4464*, LA4506, LA5142, LA5527, LA5844*, LA6092, LA6860, LA6917, LA7000, LA7167, LA7500, LA7839, LA7861, LA8129, LA8255, LA8782, LA8785, LA8906, LA8958*, LA9028, LA9038, LA9102, LA9103, LA9287, LA9422, LA9792, LA9865, LA9867, LA10204, LA10328, LA10405) have been conducted within a 1-mile radius of the project site. Of these, eight are located within the project site. There are 40 additional investigations located on the Mint Canyon, Newhall, Oat Mountain, and San Fernando, CA. 7.5' USGS Quadrangles that are potentially within a 1-mile radius of the project site. These reports are not mapped due to insufficient locational information.

(* = Located within the project site)

Please forward a copy of any resulting reports from this project to the office as soon as possible. Due to the sensitive nature of archaeological site location data, we ask that you **do not include** resource location maps and resource location descriptions in your report if the report is for public distribution. If you have any questions regarding the results presented herein, please contact the office at 657.278.5395 Monday through Thursday 9:00 am to 3:30 pm.

Should you require any additional information for the above referenced project, reference the SCCIC number listed above when making inquiries. Requests made after initial invoicing will result in the preparation of a separate invoice.

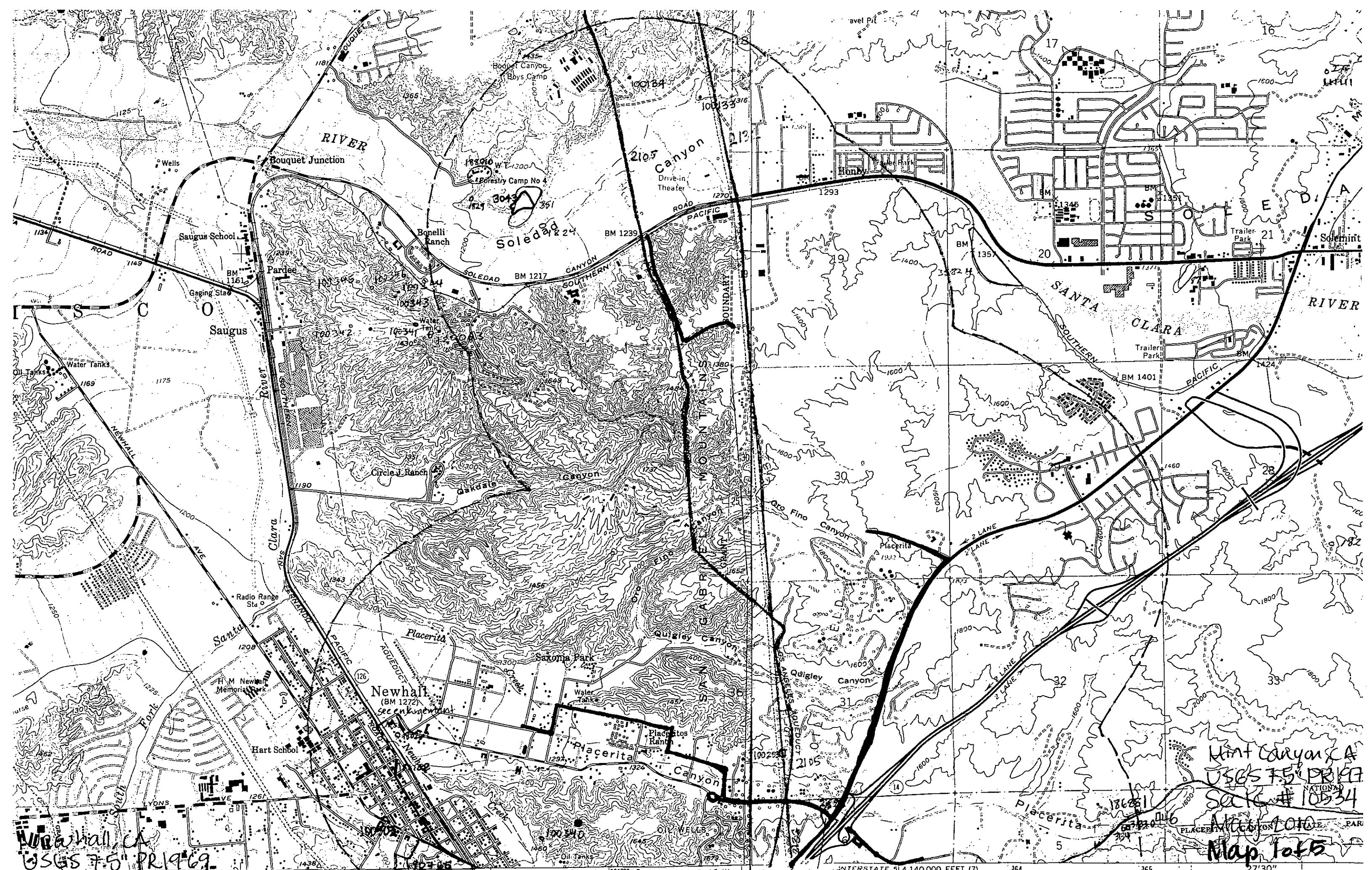
Sincerely,
SCCIC



Michelle Galaz
Lead Staff Researcher

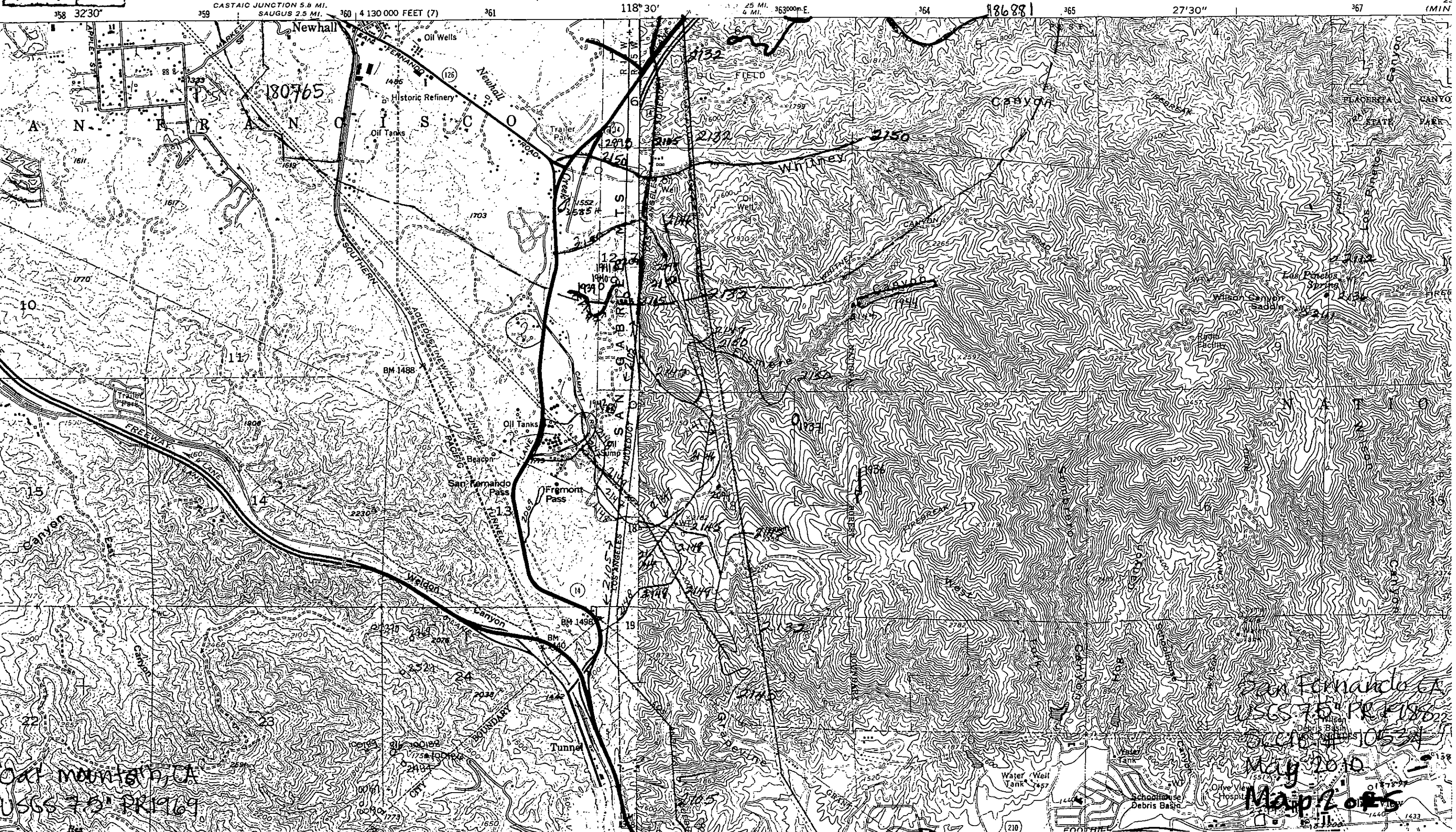
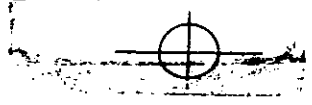
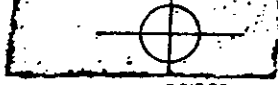
Enclosures:

- (X) Maps – 7.5' USGS Quadrangle – 5 pages
- (X) Bibliography – 19 pages
- (X) Bibliography of Unmapped Reports – 11 pages
- (X) HRI – 2 pages
- (X) ADOE – 1 page
- (X) National Register Status Codes – 1 page
- (X) Site Records – (19-002105, 19-002132, 19-002898) – 26 pages
- (X) Confidentiality Form
- (X) Invoice #10534.7314



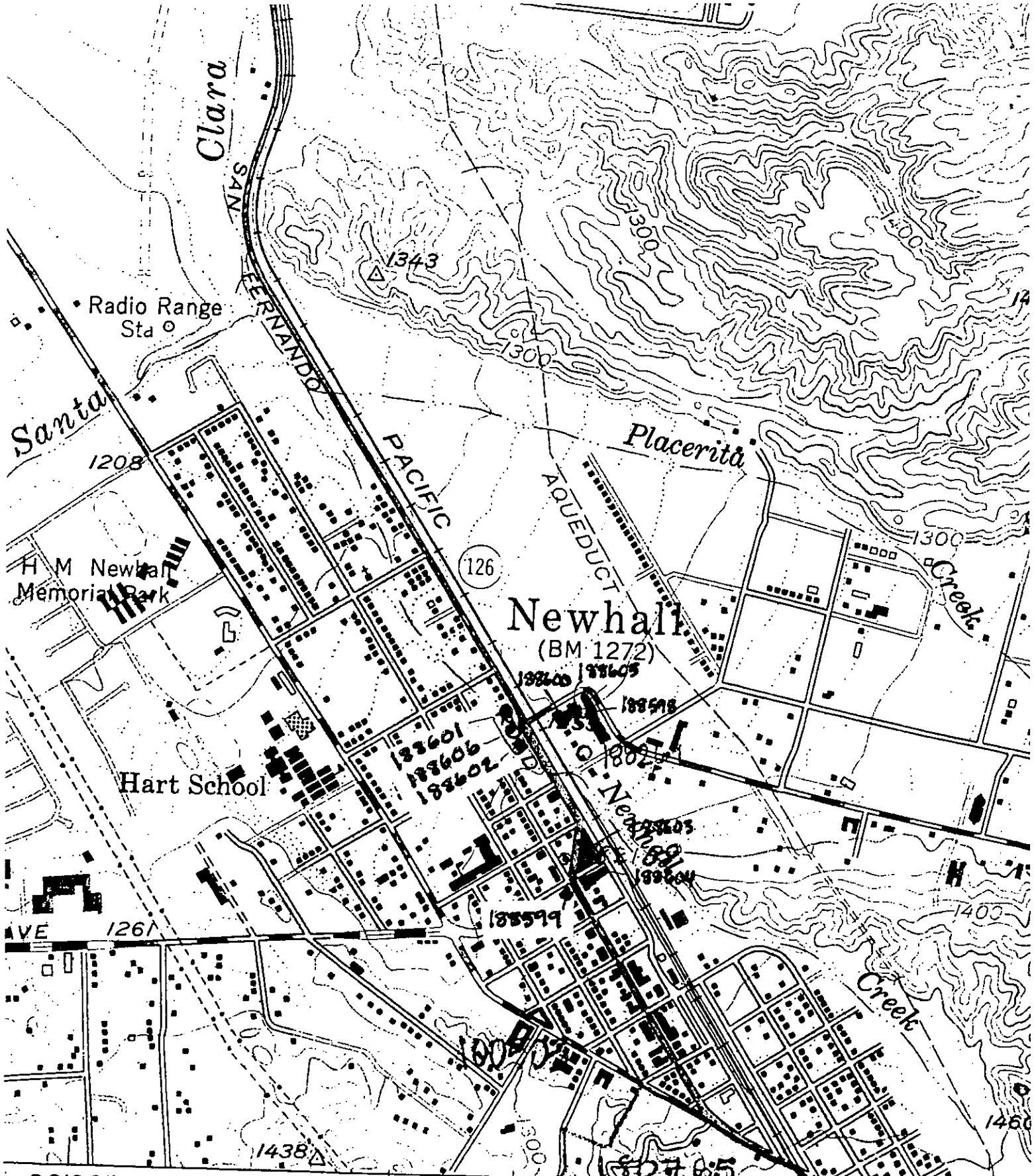
Newhall, CA
USGS 7.5" PR 1969

Hint Canyon, A
USGS 7.5" PR 1969
Section # 10534
Map 1 of 5



Oat Mountain, CA
USGS 7.5' PR 1969

San Fernando CA
USGS 7.5' PR 1969
10534
May 2010
Map 2 of 5

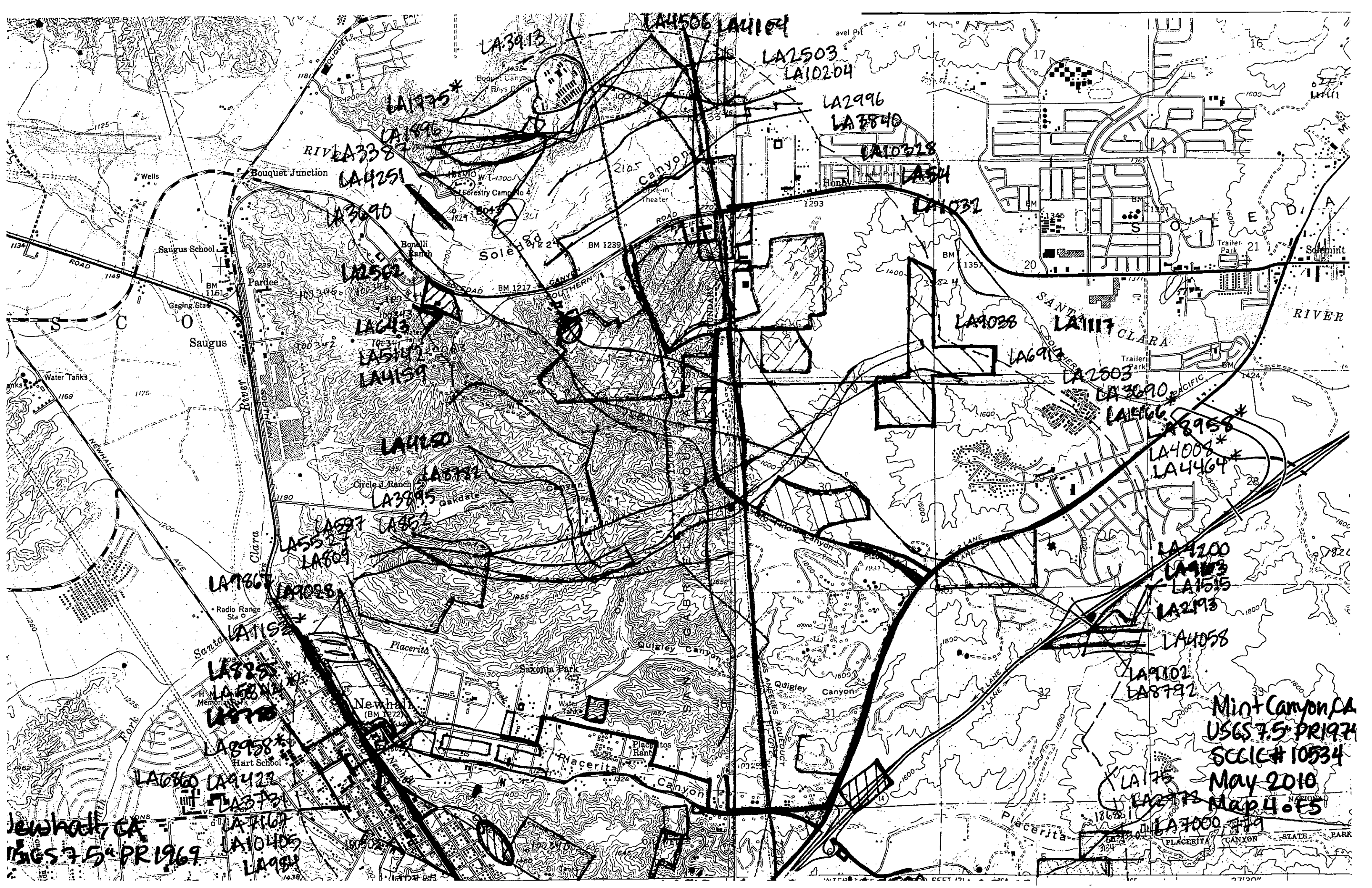


32'30"

1 840 000 FEET (5)

● INTERIOR-GEOLOGICAL SURVEY, WASHING

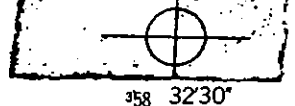
Newhall, CA
 USGS 7.5" PR1969
 Enlarged 200%
 Map 3 of 5



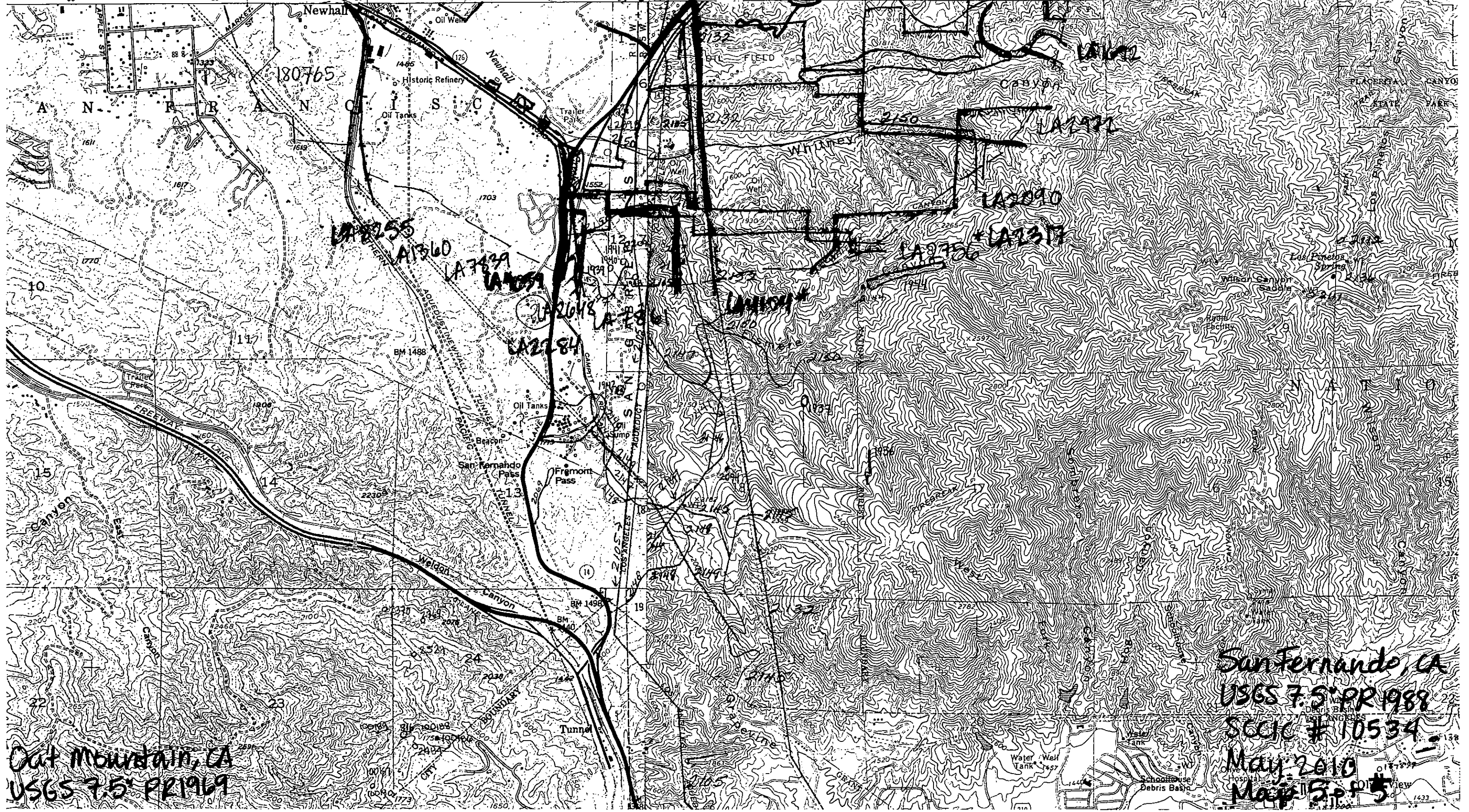
Jewhall, CA
USGS 7.5 PR 1969

Mint Canyon, CA
USGS 7.5 PR 1974
SCIC # 10534
May 2010
Map 4 of 5

LAN 19 OAT MOUNTAIN QUADRANGLE
CALIFORNIA-LOS ANGELES
7.5 MINUTE SERIES (TOPOGRAPHIC)



358 32'30" 359 360 4 130 000 FEET 361 362 363 000m.E. 364 186881 27'30" 367 23 (MIN)



Oat Mountain, CA
USGS 7.5' PR 1969

San Fernando, CA
USGS 7.5' PR 1988
SCCIC # 10534
May 2010
Map 5.p. 5

SCCIC Bibliography: Golden Oaks Ranch Addendum

LA-00054

Author(s): Leonard, Nelson N. III
Year: 1974
Title: Archaeological Resources of the Proposed Castaic Conduit System
Affiliation: University of California, Los Angeles Archaeological Survey
Resources: 19-000351
Quads: MINT CANYON, NEWHALL, WARM SPRINGS MOUNTAIN
Pages: 6
Notes:

LA-00175

Author(s): Skaggs, Glenn A.
Year: 1978
Title: Placerita Burn Project
Affiliation: U.S. Forest Service
Resources:
Quads: MINT CANYON
Pages:
Notes:

LA-00587

Author(s): Schroth, Adella
Year: 1980
Title: Archaeological Assessment of Tentative Tract 36701, Newhall Area of Los Angeles County
Affiliation: Archaeological Resource Management Corp.
Resources:
Quads: NEWHALL
Pages:
Notes:

LA-00643

Author(s): Jacobs, David and Glen Rice
Year: 1977
Title: An Archaeological Survey of 225 Acres in the Foothills Overlooking Santa Clara Valley, Los Angeles County, California
Affiliation:
Resources:
Quads: NEWHALL
Pages:
Notes:

LA-00779

Author(s): Chartkoff, Joseph L., Kerry K. Chartkoff, and Gutman, Theodore
Year: 1969
Title: An Archaeological Re-survey of Placerita Canyon State Park
Affiliation: University of California, Los Angeles Archaeological Survey
Resources: 19-000237
Quads: MINT CANYON, SAN FERNANDO
Pages:
Notes:

SCCIC Bibliography: Golden Oaks Ranch Addendum

LA-00809

Author(s): Toren, George A.

Year: 1979

Title: Assessment of Impact Upon Cultural Resources From the Proposed Subdivision of Tentative Parcel 12520 in Newhall, Los Angeles County, California

Affiliation: NARC

Resources:

Quads: NEWHALL

Pages:

Notes:

LA-00810

Author(s): Wessel, Leslie S.

Year: 1979

Title: Assessment of the Impact Upon Cultural Resources by the Proposed Development of a 6.7 Acre Area in Newhall, Los Angeles County, California

Affiliation: NARC

Resources:

Quads: NEWHALL

Pages:

Notes:

LA-00852

Author(s): Wessel, Leslie S.

Year: 1978

Title: Inventory of the Cultural Resource Potential of Tentative Parcel 10474 Located on the Northeast Corner of Placeritos Blvd. and Meadview Ave. in Newhall

Affiliation: NARC

Resources:

Quads: NEWHALL

Pages:

Notes:

LA-00855

Author(s): Wessel, Richard L.

Year: 1979

Title: Cultural Resources Survey for Zone Change 144-5

Affiliation: NARC

Resources:

Quads: OAT MOUNTAIN

Pages:

Notes:

SCCIC Bibliography: Golden Oaks Ranch Addendum

LA-00984

Author(s): McIntyre, Michael J.
Year: 1981
Title: Cultural Resource Reconnaissance and Impact Assessment for the Art Grayson Oil and Gas Lease Project in Newhall, Los Angeles County, Calif.
Affiliation: NARC
Resources:
Quads: NEWHALL, OAT MOUNTAIN
Pages:
Notes:

LA-01032

Author(s): Van Horn, David M.
Year: 1981
Title: Archaeological Survey Report: a 285+ Acre Parcel Located Near Saugus and Newhall in an Unincorporated Portion of Los Angeles County, California
Affiliation: Archaeological Associates, Ltd.
Resources:
Quads: MINT CANYON, NEWHALL
Pages:
Notes:

LA-01106

Author(s): Singer, Clay A.
Year: 1981
Title: Archaeological Reconnaissance of Tr 38376 - Cup 1926, a 5.5 Acre Narc Project #vs-582 Located Near the Junction of Sierra Highway and San Fernando Road in Newhall
Affiliation: Northridge Archaeological Research Center, CSUN
Resources:
Quads: OAT MOUNTAIN
Pages:
Notes:

LA-01117

Author(s): Anonymous
Year: 1979
Title: Preliminary Draft Environmental Impact Report for Zone Case No 6406, Soledad Canyon Area, California
Affiliation: Northridge Archaeological Research Center, CSUN
Resources:
Quads: MINT CANYON
Pages:
Notes:

LA-01153

Author(s): Tartaglia, Louis J.
Year: 1982
Title: Cultural Resource Survey, Tentative Tract Number 32777
Affiliation:
Resources:
Quads: NEWHALL
Pages:
Notes:

SCCIC Bibliography: Golden Oaks Ranch Addendum

LA-01360

Author(s): Ryan, Thomas M.
Year: 1975
Title: Archaeological Reconnaissance Report Old Newhall Ranger Station Land Exchange
Affiliation: U.S. Forest Service
Resources:
Quads: OAT MOUNTAIN
Pages:
Notes:

LA-01362

Author(s): Carey, Stephanie
Year: 1978
Title: Archaeological Reconnaissance Report: Los Pinetos Grazing Allotment ARR.
Affiliation: U.S. Forest Service
Resources:
Quads: SAN FERNANDO
Pages:
Notes:

LA-01466

Author(s): Taylor, Thomas T.
Year: 1985
Title: Tosco Cogeneration Project Transmission Line: Archaeological Survey and Native American Contacts
Affiliation: Southern California Edison
Resources:
Quads: MINT CANYON, NEWHALL
Pages:
Notes:

LA-01515

Author(s): Bissell, Ronald M.
Year: 1986
Title: Cultural Resources Assessment of the Mitchell Properties, Santa Clarita Valley Area, Los Angeles County, California
Affiliation: RMW Paleo Associates, Inc.
Resources:
Quads: MINT CANYON, SAN FERNANDO
Pages:
Notes:

LA-01692

Author(s): Wessel, Richard L.
Year: 1988
Title: Archaeological Reconnaissance Report: Divide Fire Rehab
Affiliation: U.S. Forest Service
Resources:
Quads: SAN FERNANDO, SUNLAND
Pages:
Notes:

SCCIC Bibliography: Golden Oaks Ranch Addendum

LA-01775

Author(s): Love, Bruce
Year: 1989
Title: Cultural Resource Assessment for Three Postal Service Sites, Os Angeles County
Affiliation: Pyramid Archaeology
Resources:
Quads: NEWHALL, VAL VERDE
Pages:
Notes:

LA-01896

Author(s): Van Voast, Judy
Year: 1989
Title: Cultural Resource Survey Report on the Proposed Bouquet Canyon Reatment Plant Site Santa Clarita, Los Angeles County, Californi
Affiliation: U.S. Forest Service
Resources:
Quads: NEWHALL
Pages:
Notes:

LA-02090

Author(s): Raab, Mark L.
Year: 1990
Title: Report of Archaeological Reconnaissance Survey of Proposed Whitney Canyon Off-road-vehicle Park, Los Angeles County, California
Affiliation: Northridge Center for Public Archaeology, CSUN
Resources:
Quads: OAT MOUNTAIN, SAN FERNANDO
Pages:
Notes:

LA-02193

Author(s): Romani, John F.
Year: 1990
Title: Archaeological Assessment for the Propsed Santa Fe Specific Plan Southeast and Adjacent to the City of Santa Clarita Los Angeles County, California
Affiliation: Greenwood and Associates
Resources: 19-001877
Quads: MINT CANYON, SAN FERNANDO
Pages:
Notes:

SCCIC Bibliography: Golden Oaks Ranch Addendum

LA-02284

Author(s): McKenna, Jeanette A.
Year: 1991
Title: Phase I Archaeological Investigations of the Proposed Valley Gateway Project, Santa Clarita, Los Angeles County, California
Affiliation: McKenna et al.
Resources:
Quads: OAT MOUNTAIN
Pages:
Notes:

LA-02317

Author(s): McKenna, Jeanette A.
Year: 1991
Title: A Class I Cultural Resources Investigation for the Proposed Elsmere Canyon Solid Waste Management Facility, Newhall, Los Angeles County, California
Affiliation: McKenna et.al.
Resources: 19-000225, 19-000237, 19-000446, 19-000816
Quads: OAT MOUNTAIN, SAN FERNANDO
Pages:
Notes:

LA-02503

Author(s): Romani, John F., Roberta S. Greenwood, Portia Lee, and Gwen Romani
Year: 1992
Title: Historic Property Survey Report & Archaeological Survey Report & Historic Architectural Survey Report for the Route 126 Location Study (easterly Extension) From I-5 to SR-14, Santa Claita Valley, Los Angeles County, California 07-la-126-5.8/12.7. Final
Affiliation: Greenwood and Associates; Parsons, Brinckerhoff, Quade & Douglas, Inc.
Resources: 19-000087, 19-000295, 19-000351, 19-000823, 19-000961, 19-000962, 19-001820, 19-001824, 19-001829, 19-188010
Quads: MINT CANYON, NEWHALL
Pages: 110
Notes:

LA-02562

Author(s): Wlodarski, Robert J.
Year: 1992
Title: A Phase 1 Archaeological Study for the Proposed Commuter Rail Station: Bermite and Glazer Sites, City of Santa Clarita, Los Angeles County, California
Affiliation: Historical, Environmental, Archaeological, Research, Team
Resources:
Quads: NEWHALL
Pages:
Notes:

SCCIC Bibliography: Golden Oaks Ranch Addendum

LA-02648

Author(s): Macko, Michael E.

Year: 1992

Title: Results of a Phase I Archaeological Resource Literature Review Field Survey for Project No. E6000223, Street Widening in Granada Hills Area Near Shoshone Avenue and Rinaldi, City of Los Angeles, California

Affiliation: Macko Archaeological Consulting

Resources:

Quads: OAT MOUNTAIN

Pages:

Notes:

LA-02756

Author(s): Singer, Clay A., John E. Atwood, and Barbie S. Laney

Year: 1992

Title: Cultural Resources Survey and Impact Assessment for the Whitney Canyon Ranch Near Newhall, Los Angeles County, California

Affiliation: C.A. Singer & Associates, Inc.

Resources:

Quads: OAT MOUNTAIN, SAN FERNANDO

Pages:

Notes:

LA-02972

Author(s): Anonymous

Year: 1994

Title: Cultural Resources Inventory Elsmere Canyon Proposed Landfill Site Los Angeles County, California

Affiliation: Science Applied International Corporation, PHR Associates

Resources: 19-001936, 19-002105, 19-002132, 19-002145, 19-002146, 19-002147, 19-002148, 19-002149, 19-002150

Quads: OAT MOUNTAIN, SAN FERNANDO

Pages:

Notes:

LA-02996

Author(s): Valentine-Maki, Mary

Year: 1993

Title: Cultural Resources Survey for the Proposed Santa Clara River Horse and Bike Trail Santa Clarita, Los Angeles County, California

Affiliation: Fugro McClelland (West), Inc.

Resources: 19-000351, 19-001077, 19-001824, 19-001829

Quads: MINT CANYON, NEWHALL

Pages:

Notes:

SCCIC Bibliography: Golden Oaks Ranch Addendum

LA-03289

Author(s): Davis, Gene

Year: 1990

Title: Mobil M-70 Pipeline Replacement Project Cultural Resource Survey Report for Mobil Corporation

Affiliation: Dames & Moore

Resources: 19-000034, 19-000059, 19-000060, 19-000067, 19-000077, 19-000095, 19-000169, 19-000194, 19-000213, 19-000216, 19-000248, 19-000408, 19-000409, 19-000410, 19-000411, 19-000412, 19-000441, 19-000444, 19-000475, 19-000490, 19-000491, 19-000492, 19-000493, 19-000634, 19-000643, 19-000644, 19-000645, 19-000646, 19-000823, 19-000903, 19-000925, 19-000926, 19-000927, 19-000938, 19-000960, 19-000962, 19-000990, 19-000991, 19-000992, 19-001015, 19-001305, 19-001834, 19-001835

Quads: ALAMO MOUNTAIN, BEVERLY HILLS, BLACK MTN, CANOGA PARK, COBBLESTONE MTN, FRAZIER MOUNTAIN, INGLEWOOD, LEBEC, LIEBRE MTN, NEWHALL, OAT MOUNTAIN, SAN FERNANDO, TORRANCE, VAL VERDE, VAN NUYS, VENICE, WARM SPRINGS MOUNTAIN, WHITAKER PEAK

Pages:

Notes: Indexed. This report covers more area than the mapped survey areas.

LA-03387

Author(s): Whitley, David S. and Joseph M. Simon

Year: 1994

Title: Phase 1 Archaeological Survey and Cultural Resource Assessment for the 750 Acre Soledad Canyon Study Area, Los Angeles County, California

Affiliation: W & S Consultants

Resources: 19-000351, 19-001824, 19-001829, 19-002105, 19-100133

Quads: NEWHALL

Pages:

Notes:

LA-03644

Author(s): Brechbiel, Brant A.

Year: 1996

Title: Cultural Resources Survey Report for the Newhall Creek Emergency Erosion Repair Project in the City of Santa Clarita, California

Affiliation: Chambers Group, Inc.

Resources:

Quads: NEWHALL

Pages:

Notes:

LA-03661

Author(s): Wlodarski, Robert J.

Year: 1997

Title: A Phase 1 Archaeological Study for the Newhall Creek Rip Rap Emplacement Project 4th Street to Market Street, City of Santa Clarita, Los Angeles County, California

Affiliation: Historical, Environmental, Archaeological, Research, Team

Resources:

Quads: NEWHALL

Pages:

Notes:

SCCIC Bibliography: Golden Oaks Ranch Addendum

LA-03690

Author(s): Wlodarski, Robert J.
Year: 1997
Title: Cultural Resources Evaluation City of Santa Clarita Circulation Element Eir
Affiliation: Historical, Environmental, Archaeological, Research, Team
Resources: 19-000065, 19-000951
Quads: MINT CANYON, NEWHALL
Pages:
Notes:

LA-03731

Author(s): Wlodarski, Robert J.
Year: 1997
Title: A Phase 1 Archaeological Study for the Proposed Reconstruction and Widening of Railroad Avenue City of Santa Clarita, Los Angeles County, California
Affiliation: Historical, Environmental, Archaeological, Research, Team
Resources:
Quads: NEWHALL
Pages:
Notes:

LA-03840

Author(s): Wlodarski, Robert J.
Year: 1996
Title: A Phase I Archaeological Study: Santa Clarita Water Company Application 29898 for 13 Existing Well Site Locations, Los Angeles County, Ca.
Affiliation: Historical, Environmental, Archaeological, Research, Team
Resources:
Quads: MINT CANYON, NEWHALL
Pages:
Notes:

LA-03895

Author(s): Pence, Robert L.
Year: 1977
Title: Archaeological Assessment of the Proposed Oxnard Lng Pipeline Route From La Vista, Ventura County, to Quiqley, Los Angeles County
Affiliation:
Resources:
Quads: MOORPARK, NEWHALL, SANTA SUSANA, SIMI, VAL VERDE
Pages:
Notes: Missing Report Updated: 11/6/02 Pipeline continues in Los Angeles County Also See Report VN1600

SCCIC Bibliography: Golden Oaks Ranch Addendum

LA-03913

Author(s): Unknown
Year: 1997
Title: Phase I Archaeological Survey and Cultural Resources Assessment of the Castaic Lake Water Agency Study Area, Los Angeles County, California
Affiliation: W & S Consultants
Resources: 19-002105, 19-002131
Quads: NEWHALL
Pages:
Notes:

LA-04008

Author(s): Unknown
Year: 1996
Title: Cultural Resources Investigation Pacific Pipeline Eimidio Route
Affiliation: Science Applications Internatinal Corporation
Resources:
Quads: ACTON, AGUA DULCE, BLACK MTN, FRAZIER MOUNTAIN, LANCASTER EAST, LANCASTER WEST, LEBEC, MINT CANYON, NEWHALL, OAT MOUNTAIN, PACIFICO MOUNTAIN, PALMDALE, RITTER RIDGE, ROSAMOND LAKE, SLEEPY VALLEY, VAL VERDE, WARM SPRINGS MOUNTAIN, WHITAKER PEAK
Pages:
Notes:

LA-04058

Author(s): Wlodarski, Robert J.
Year: 1998
Title: Cultural Resources Evaluation: Golden Valley Ranch Eir City of Santa Clarita, Los Angeles County, California
Affiliation: Historical, Environmental, Archaeological, Research, Team
Resources: 19-002651, 19-002652, 19-002653
Quads: MINT CANYON, SAN FERNANDO
Pages:
Notes:

LA-04059

Author(s): Iverson, Gary
Year: 1997
Title: Negative Archaeological Survey Report: 07- Lan -14 - 24.8/27/03 - 07 - 11984k - 07234
Affiliation: Unknown
Resources:
Quads: OAT MOUNTAIN
Pages:
Notes:

SCCIC Bibliography: Golden Oaks Ranch Addendum

LA-04104

Author(s): Macko, Michael E.
Year: 1993
Title: Cultural Resource Evaluation of the Ladwp Power Plant 1--olive Line 1 Transmission Line Maintenance Project Los Angeles County, California
Affiliation: Mako Archaeological Consulting
Resources: 19-002132, 19-100253
Quads: GREEN VALLEY, MINT CANYON, NEWHALL, SAN FERNANDO, WARM SPRINGS MOUNTAIN
Pages:
Notes:

LA-04159

Author(s): Bonner, Wayne H.
Year: 1998
Title: Cultural Resources Investigation Lot 8, Tract 38936 City of Santa Clarita, Los Angeles County, California
Affiliation: W.H. Bonner Associates
Resources:
Quads: NEWHALL
Pages:
Notes:

LA-04200

Author(s): Maxon, Patrick O.
Year: 1998
Title: Cultural Resources Reconnaissance of Tentative Tract 48892, a 62.2 Acre Parcel in Santa Clarita, Los Angeles County, California
Affiliation: RMW Paleo Associates, Inc.
Resources:
Quads: MINT CANYON
Pages:
Notes:

LA-04250

Author(s): Wlodarski, Robert J.
Year: 1998
Title: A Phase I Archaeological Study: City of Santa Clarita Golden Valley Road/ High School Eir, Los Angeles County, California
Affiliation: Historical, Environmental, Archaeological, Research, Team
Resources:
Quads: MINT CANYON, NEWHALL
Pages:
Notes:

LA-04251

Author(s):
Year:
Title:
Affiliation:
Resources:
Quads:
Pages:
Notes: Missing Report Updated: 11/6/02

SCCIC Bibliography: Golden Oaks Ranch Addendum

LA-04464

Author(s): Lerch, Michael K.

Year: 1998

Title: Cultural Resources Inventory and Evaluation of the Ixc Carrier, Inc. Fiberoptic Longhaul Project From Henderson, Nevada to Los Angeles, California

Affiliation: Pacific Legacy, Inc.

Resources: 19-000535, 19-001534

Quads: ACTON, GREEN VALLEY, LITTLEROCK, LOVEJOY BUTTES, MINT CANYON, PALMDALE, RITTER RIDGE, SLEEPY VALLEY

Pages:

Notes: UNMAPPABLE

LA-04506

Author(s): Wlodarski, Robert J.

Year: 1999

Title: A Phase I Archaeological Study: the Golden Valley Road-soledad Canyon Road Interchange Project, Los Angeles County, California

Affiliation: Historical, Environmental, Archaeological, Research, Team

Resources: 19-002132

Quads: NEWHALL

Pages:

Notes:

LA-05142

Author(s): Maki, Mary K.

Year: 2000

Title: Negative Phase I Archaeological Survey and Impact Assessment of 4.4 Acres for the Santa Clarita Child and Family Development Project Saugus, Los Angeles County, Ca

Affiliation: Conejo Archaeological Consultants

Resources:

Quads: NEWHALL

Pages:

Notes:

LA-05527

Author(s): Wlodarski, Robert J.

Year: 2000

Title: A Phase I Archaeological Study for the Proposed Magic Mountain/via Princessa Roadway Extension and Interchange City of Santa Clarita, County of Los Angeles, California

Affiliation: Historical, Environmental, Archaeological, Research, Team

Resources:

Quads: NEWHALL

Pages:

Notes:

SCCIC Bibliography: Golden Oaks Ranch Addendum

LA-05844

Author(s): Maki, Mary K.

Year: 2002

Title: Phase I Archaeological Survey of Approximately Four Linear Miles for the Placerita Canyon Mainline Sewer Project Newhall, Los Angeles County, California

Affiliation: Conejo Archaeological Consultants

Resources:

Quads: NEWHALL

Pages:

Notes:

LA-06092

Author(s): Duke, Curt

Year: 2002

Title: Cultural Resource Assessment at & T Wireless Services Facility No. D370a Los Angeles County, California

Affiliation: LSA Associates, Inc.

Resources:

Quads: NEWHALL

Pages:

Notes:

LA-06860

Author(s): McKenna, Jeanette A.

Year: 2003

Title: A Phase I Cultural Resources Investigation for the Proposed Newhall Community Center Project Area in the City of Santa Clarita, Los Angeles County, California

Affiliation: McKenna et al.

Resources: 19-100340, 19-180765, 19-186542

Quads: NEWHALL

Pages:

Notes:

LA-06917

Author(s): Bricker, Lauren W. and Janet L. Teamen

Year: 1998

Title: Historic Property Clearance Report for the Magic Mountain Parkway Via Princessa Improvement Project in the City of Santa Clarita, Los Angeles County, California

Affiliation: Chambers Group, Inc.

Resources:

Quads: MINT CANYON, NEWHALL

Pages:

Notes: Location sketched due to poor map

SCCIC Bibliography: Golden Oaks Ranch Addendum

LA-07000

Author(s): Christy, Juliet L.
Year: 2002
Title: Archaeological Assessment of Placerita Canyon County Park Los Angeles County, California
Affiliation: Greenwood and Associates
Resources: 19-000237, 19-000327, 19-000446
Quads: MINT CANYON, SAN FERNANDO
Pages:
Notes: Six historical object or features in park, location of first gold discovery in CA by Francisco Lopez; Tataviam (hunters/gatherers; Juan Jose Fustero last full-blooded Tataviam)

LA-07167

Author(s): Foster, John M.
Year: 2004
Title: Archaeological Investigation for Veterans Historic Plaza Project City of Santa Clarita, California
Affiliation: Greenwood and Associates
Resources: 19-000030, 19-000031, 19-000032, 19-100503
Quads: NEWHALL
Pages: 31
Notes: Sensitive

LA-07500

Author(s): Kirkish, Alex
Year: 2002
Title: Highway Project for Drainage Improvement Project on the Southbound Sr-14 Off-ramp at Kp 45.7 (pm 28.4)
Affiliation: District 7, County of Los Angeles
Resources:
Quads: MINT CANYON
Pages:
Notes:

LA-07839

Author(s): Becker, Kenneth M.
Year: 2005
Title: A Cultural Resources Survey of the Proposed Southern California Gas Company Line 119 Pipeline Project, Santa Clarita, Los Angeles County, California - with addendum SRI Technical Report 05-90
Affiliation: Statistical Research, Inc.
Resources: 19-000823, 19-001940, 19-001941, 19-002098, 19-002105, 19-002132, 19-002146, 19-002147, 19-002150, 19-002190, 19-002898, 19-100341, 19-100342, 19-100343, 19-100344, 19-100345, 19-100346, 19-180765
Quads: NEWHALL, OAT MOUNTAIN
Pages: 67
Notes: Report added to addendum after eventual acquisition

SCCIC Bibliography: Golden Oaks Ranch Addendum

LA-07861

Author(s): Jordan, Stacey C. and Patterson, Joshua D.
Year: 2006
Title: Archaeological Survey Report for the Southern California Edison Company Replacement of 30 Deteriorated Poles Private and Public Inholdings, Ventura, Los Angeles, and Santa Barbara Counties, California
Affiliation: Mooney, Jones & Stokes
Resources: 19-000729, 19-000730, 19-000731, 19-001266, 56-000141, 56-000550, 56-000562, 56-000901, 56-000902, 56-000980, 56-001110, 56-001124, 56-001125
Quads: CALABASAS, FILLMORE, MALIBU BEACH, MOORPARK, NEWHALL, OJAI, PITAS POINT, POINT DUME, SAN FERNANDO, SANTA PAULA, SANTA PAULA PEAK, SANTA SUSANA, SIMI, THOUSAND OAKS, TRIUNFO PASS, VAL VERDE, VENTURA, YORBA LINDA
Pages:
Notes:

LA-08129

Author(s): Crull, Scott
Year: 2007
Title: Cultural Resources Assessment and Site Visit for the T-mobile Candidate Sv11583b Stealth Light Pole and Equipment Location, Located at 21726 Placerita Canyon Road, Santa Clarita, Los Angeles County, California
Affiliation: Scott Crull, Ph.D.
Resources: 19-100340
Quads: NEWHALL
Pages:
Notes:

LA-08255

Author(s): Arrington, Cindy and Nancy Sikes
Year: 2006
Title: Cultural Resources Final Report of Monitoring and Findings for the Qwest Network Construction Project State of California: Volumes I and II
Affiliation: SWCA Environmental Consultants, Inc.
Resources:
Quads: ANAHEIM, BLACK MTN, BURBANK, CAMARILLO, CANOGA PARK, DANA POINT, EL TORO, FRAZIER MOUNTAIN, HOLLYWOOD, INGLEWOOD, LEBEC, LIEBRE MTN, LONG BEACH, LOS ALAMITOS, LOS ANGELES, MOORPARK, NEWHALL, NEWPORT BEACH, OAT MOUNTAIN, ORANGE, OXNARD, PITAS POINT, SAN CLEMENTE, SAN FERNANDO, SAN JUAN CAPISTRANO, SANTA SUSANA, SATICOY, SIMI, SOUTH GATE, TUSTIN, VAN NUYS, VENICE, VENTURA, WARM SPRINGS MOUNTAIN, WHITAKER PEAK, WHITE LEDGE PEAK, WHITTIER
Pages:
Notes: Same as OR3373, VN2504

LA-08782

Author(s): Bonner, Wayne H.
Year: 2006
Title: Cultural Resources Records Search and Site Visit Results for Cingular Wireless Candidate NI-0206-01 (berry Petroleum), 22116 Soledad Canyon Road, Santa Clarita, Los Angeles County, California
Affiliation: Michael Brandman Associates
Resources:
Quads: NEWHALL
Pages:
Notes:

SCCIC Bibliography: Golden Oaks Ranch Addendum

LA-08785

Author(s): Bonner, Wayne H.

Year: 2007

Title: Cultural Resources Records Search and Site Visit Results for T-mobile Candidate Sv11583b (smith Hall Light Pole), 21726 Placerita Canyon Road, Santa Clarita, Los Angeles County, California

Affiliation: Michael Brandman Associates

Resources:

Quads: NEWHALL

Pages:

Notes:

LA-08792

Author(s): Bonner, Wayne H. and Sarah A. Williams

Year: 2006

Title: Cultural Resources Records Search Results and Site Visit for T-mobile Usa Candidate Sv01459b (spectrasite Collocation) 25521 Mountain Pass Road, Santa Clarita, Los Angeles County, California

Affiliation: Michael Brandman Associates

Resources:

Quads: MINT CANYON

Pages:

Notes:

LA-08906

Author(s): Dillon, Brian D.

Year: 2007

Title: Phase 1 Archaeological Survey and Cultural Resources Inventory of APN 2833-003-076 & 077, 7+ Acres in Placerita Canyon, City of Santa Clarita, Los Angeles County, California

Affiliation:

Resources: 19-002105, 19-002132, 19-100253

Quads: NEWHALL

Pages:

Notes:

LA-08958

Author(s): Tsunoda, Koji and Moreno, A.

Year: 2007

Title: Archaeological Survey Report for Southern California Edison Company Saugus-north Oaks Fo Cable Project Los Angeles County, California (wo#8456-0639, Jo#6155)

Affiliation: Jones & Stokes

Resources: 19-002105, 19-002132, 19-002898

Quads: MINT CANYON, NEWHALL

Pages:

Notes:

SCCIC Bibliography: Golden Oaks Ranch Addendum

LA-09028

Author(s): Simolke, Daria and John Romani
Year: 1989
Title: Historic Property Survey 07-1a-126 P.m. 7.8/10.8 Route 126 From Valencia Boulevard to Lyons Avenue, Santa Clarita Los Angeles County, California 07-109370.
Affiliation: Environmental Planning Research
Resources:
Quads: NEWHALL
Pages:
Notes:

LA-09038

Author(s): Wlodarski, Robert J.
Year: 2006
Title: A Phase I Archaeological Study for the Proposed Sports Complex Expansion Project a 38-acre Site Located in the City of Santa Clarita, County of Los Angeles, California
Affiliation: Historical, Environmental, Archaeological, Team
Resources:
Quads: MINT CANYON
Pages:
Notes:

LA-09102

Author(s): Bonner, Wayne H.
Year: 2007
Title: Cultural Resources Records Search and Site Visit Results for T-Mobile USA Candidate SV01459B (Cingular Collocation), 25529 1/2 Mountain Pass Road, Santa Clarita, Los Angeles County, California
Affiliation: Michael Brandman Associates
Resources:
Quads: MINT CANYON
Pages: 14
Notes:

LA-09103

Author(s): Bonner, Wayne H.
Year: 2007
Title: Cultural Resources Records Search and Site Visit Results for T-Mobile Candidate SV01563A-R (Caltrans Monopalm), Golden Valley Road and Highway 14, Santa Clarita, Los Angeles County, California
Affiliation: Michael Brandman Associates
Resources:
Quads: MINT CANYON
Pages: 12
Notes:

SCCIC Bibliography: Golden Oaks Ranch Addendum

LA-09287

Author(s): George, Toren A.
Year: 2007
Title: Archaeological Reconnaissance Report: Widening of Placerita Canyon Road at Golden Oak Ranch For the Proposed Left Turn Pocket, Placerita Canyon, Newhall, Los Angeles County, California
Affiliation: Compass Rose Archaeological, Inc.
Resources:
Quads: MINT CANYON
Pages: 7
Notes:

LA-09422

Author(s): Supernowicz, Dana E.
Year: 2008
Title: Cultural Resources Study of the RVP, Inc. Project Royal Street Communications Site No. LA2090B 24604 Pine Street & 22425 12th Street, Santa Clarita, Los Angeles County, California 91321
Affiliation: Historic Resource Associates
Resources: 19-100503
Quads: NEWHALL
Pages: 34
Notes: See report for other historic properties.

LA-09865

Author(s): Phil Fulton
Year: 2009
Title: Cultural Resource Assessment: Verizon Wireless Services Whitney Canyon Facility, City of Santa Clarita, Los Angeles County, California
Affiliation: LSA Associates, Inc
Resources: 19-002105, 19-002132
Quads: NEWHALL
Pages: 14
Notes:

LA-09867

Author(s): Robin D. Turner
Year: 2009
Title: Proposed Residential Development on Approximately 95.25 Acres within the North Newhall Specific Plan Boundaries in Newhall, CA
Affiliation: ArchaeoPaleo Resource Management Inc.
Resources: 19-187062, 19-188109, 19-188269, 19-188598, 19-188599, 19-188600, 19-188601, 19-188602, 19-188603, 19-188604, 19-188605, 19-188606
Quads: NEWHALL
Pages: 79
Notes:

SCCIC Bibliography: Golden Oaks Ranch Addendum

LA-10204

Author(s): McKenna, Jeanette A.

Year: 2004

Title: A Phase I Cultural Resources Investigation of the Park Vista Project Area in the Santa Clarita Area of Los Angeles County, CA

Affiliation: McKenna et al.

Resources:

Quads: MINT CANYON, NEWHALL

Pages: 53

Notes:

LA-10328

Author(s): Schmidt, James

Year: 2009

Title: Archaeological Letter Report: WO 6059-4800; 9-4860: TD 370156, Crabtree, Nero, and Moccasin 16 kV Distribution Circuits Deteriorated Pole Replacement Project MMS #871, Santa Clarita Area, Los Angeles County, California.

Affiliation: Compass Rose Archaeological, Inc.

Resources: 19-000961, 19-000962, 19-002105

Quads: MINT CANYON, NEWHALL

Pages: 8

Notes:

LA-10405

Author(s): Hale, Alice and Rehberger, Linda

Year: 2005

Title: Supplemental Monitor Report: Veterans Historic Plaza Project Santa Clarita, County of Los Angeles, California

Affiliation: Greenwood and Associates

Resources: 19-000030

Quads: NEWHALL

Pages: 7

Notes:

SCCIC Bibliography: Unmappables: Golden Oaks Ranch Proj

LA-00009

Author(s): Foster, John M.

Year: 1973

Title: Assessment of the Archaeological Impact by the Development of Parcels II and IV, Rinaldi Extension

Affiliation: Northridge Archaeological Research Center, CSUN

Resources:

Quads: OAT MOUNTAIN

Pages:

Notes: Unmappable-no project area map provided

LA-00105

Author(s): Kaufman, Susan Hector

Year: 1976

Title: Archaeological Resources Within the Los Angeles County Area Are Evaluated As to the Importance, Nature, and Location These Resources Are Analyzed Following Careful Review of Maps and Archival Material Housed at the UCLA, Archaeological Survey

Affiliation: University of California, Los Angeles Archaeological Survey

Resources:

Quads: AZUSA, BALDWIN PARK, BEVERLY HILLS, EL MONTE, GLENDORA, INGLEWOOD, LONG BEACH, LOS ALAMITOS, LOS ANGELES, PALMDALE, PASADENA, REDONDO BEACH, SAN DIMAS, SAN FERNANDO, SANTA CATALINA WEST, SOUTH GATE, TORRANCE, VENICE, WHITTIER

Pages:

Notes:

LA-00294

Author(s): Adams, Andrea

Year:

Title: A Preliminary Archaeological Literature Search for the Community Development Plan

Affiliation: University of California, Los Angeles Archaeological Survey

Resources: 19-000036, 19-000136, 19-000158, 19-000167, 19-000182, 19-000300, 19-000342, 19-000385

Quads: BALDWIN PARK, HOLLYWOOD, INGLEWOOD, LANCASTER EAST, LANCASTER WEST, LITTLEROCK, PASADENA, SAN FERNANDO, SOUTH GATE, SUNLAND, VAL VERDE, VAN NUYS, VENICE, WHITTIER

Pages:

Notes: The communities of Lopez, Maravilla Sunshine Acres and Westmont could not be located and may either be on the quads given or others not mentioned.

LA-00886

Author(s): Robinson, R. W.

Year: 1981

Title: Parcel Map No. 13912

Affiliation:

Resources:

Quads:

Pages:

Notes:

SCCIC Bibliography: Unmappables: Golden Oaks Ranch Proj

LA-01372

Author(s): Foster, John M.

Year: 1984

Title: Archaeological Investigation: Adamsville Project, Vicinity of Greenleaf Canyon, Los Angeles County

Affiliation: Greenwood and Associates

Resources:

Quads: CANOGA PARK

Pages:

Notes:

LA-02816

Author(s): King, Chester

Year: 1993

Title: Native American Placenames in the Vicinity of the Pacific Pipeline: Part 2: Gaviota to the San Fernando Valley: Draft

Affiliation: Topanga Anthropological Consultants

Resources:

Quads: BURBANK, FILLMORE, HOLLYWOOD, MINT CANYON, NEWHALL, OXNARD, PIRU, PITAS POINT, SAN FERNANDO, SANTA PAULA, SATICOY, SUNLAND, VAL VERDE, VAN NUYS, VENTURA, WHITE LEDGE PEAK

Pages:

Notes: Unmappable. Same as VN2627

LA-02951

Author(s): Gibson, Robert O.

Year: 1993

Title: Results of Archaeological Records Review for the Pacific Pipeline Project Emidio Lateral Pipeline Kern and Los Angeles Counties, Ca

Affiliation: Consulting Archaeologist

Resources: 19-000823, 19-000903, 19-000922, 19-000925, 19-000926, 19-000927, 19-000961, 19-000990, 19-000991, 19-001141, 19-001277, 19-001305, 19-001672, 19-001834, 19-001835, 19-002058, 19-002117, 19-002118, 19-002119, 19-002120, 19-002126, 19-002848

Quads: BLACK MTN, FRAZIER MOUNTAIN, LEBEC, LIEBRE MTN, NEWHALL, WARM SPRINGS MOUNTAIN, WHITAKER PEAK

Pages:

Notes: Unmappable

LA-03289

Author(s): Davis, Gene

Year: 1990

Title: Mobil M-70 Pipeline Replacement Project Cultural Resource Survey Report for Mobil Corporation

Affiliation: Dames & Moore

Resources: 19-000034, 19-000059, 19-000060, 19-000067, 19-000077, 19-000095, 19-000169, 19-000194, 19-000213, 19-000216, 19-000248, 19-000408, 19-000409, 19-000410, 19-000411, 19-000412, 19-000441, 19-000444, 19-000475, 19-000490, 19-000491, 19-000492, 19-000493, 19-000634, 19-000643, 19-000644, 19-000645, 19-000646, 19-000823, 19-000903, 19-000925, 19-000926, 19-000927, 19-000938, 19-000960, 19-000962, 19-000990, 19-000991, 19-000992, 19-001015, 19-001305, 19-001834, 19-001835

Quads: ALAMO MOUNTAIN, BEVERLY HILLS, BLACK MTN, CANOGA PARK, COBBLESTONE MTN, FRAZIER MOUNTAIN, INGLEWOOD, LEBEC, LIEBRE MTN, NEWHALL, OAT MOUNTAIN, SAN FERNANDO, TORRANCE, VAL VERDE, VAN NUYS, VENICE, WARM SPRINGS MOUNTAIN, WHITAKER PEAK

Pages:

Notes: Indexed. This report covers more area than the mapped survey areas.

SCCIC Bibliography: Unmappables: Golden Oaks Ranch Proj

LA-03299

Author(s): Craig, Steven

Year: 1967

Title: Ucas-257 Steve Craig's Research Project on Chumash Political and Social Organization

Affiliation: University of California, Los Angeles Archaeological Survey

Resources:

Quads: ALAMO MOUNTAIN, APACHE CANYON, CALABASAS, CAMARILLO, CANOGA PARK, COBBLESTONE MTN, CUDDY VALLEY, CUYAMA PEAK, DEVILS HEART PEAK, FILLMORE, LION CANYON, LOCKWOOD VALLEY, MALIBU BEACH, MATILIJIA, MOORPARK, NEWBURY PARK, OAT MOUNTAIN, OJAI, OLD MAN MOUNTAIN, OXNARD, PIRU, PITAS POINT, POINT DUME, POINT MUGU, RANCHO NUEVO CREEK, REYES PEAK, SAN FERNANDO, SAN GUILLERMO, SANTA PAULA, SANTA PAULA PEAK, SANTA SUSANA, SATICOY, SAWMILL MTN, SIMI, THOUSAND OAKS, TOPANGA, TOPATOPA MOUNTAINS, TRIUNFO PASS, VAL VERDE, VENTURA, WHEELER SPRINGS, WHITE LEDGE PEAK

Pages:

Notes: Same as VN1443. Included in the unmappables notebook.

LA-03309

Author(s):

Year: 1988

Title: Preliminary Overview: Prehistoric and Historic Resources, Castaic Lake Water Agency Project Area Los Angeles County, California

Affiliation: Scientific Resource Surveys, Inc.

Resources:

Quads: AGUA DULCE, MINT CANYON, NEWHALL, OAT MOUNTAIN, SAN FERNANDO, VAL VERDE, WARM SPRINGS MOUNTAIN, WHITAKER PEAK

Pages:

Notes: Unmappable Report

LA-03452

Author(s): Wessel, Richard L.

Year: 1976

Title: Assessment of the Impact Upon Archaeological Resources by Changing the Zoning Restrictions From A-1 to Ra-1 of Tracts 31920 and 31904 in Chatsworth, California

Affiliation: Northridge Archaeological Research Center, CSUN

Resources: 19-000021, 19-000089, 19-000093, 19-000209, 19-000244, 19-000249, 19-000251, 19-000357, 19-000448, 19-000449, 19-000502, 19-000503, 19-000544, 19-000604, 19-000647, 19-000648, 19-000649, 19-000651, 19-000652, 19-000653, 19-000660, 19-000661, 19-000662, 19-000663, 19-000664, 19-000665, 56-000148, 56-000149, 56-000292, 56-000458

Quads: CALABASAS, OAT MOUNTAIN, SANTA SUSANA

Pages:

Notes: Same as VN1407.

LA-03486

Author(s): Stickel, Gary E.

Year: 1994

Title: A Cultural Resources Inventory for the East Valley Water Reclamation Project

Affiliation: Environmental Research Archaeologists: A Scientific Consortium

Resources: 19-000021, 19-000169, 19-002003, 19-002006, 19-002073, 19-002090

Quads: SAN FERNANDO, VAN NUYS

Pages:

Notes: Indexed. No specific location map provided. Sites mapped.

SCCIC Bibliography: Unmappables: Golden Oaks Ranch Proj

LA-03508

Author(s): Van Wormer, Stephen R.

Year: 1985

Title: Historical Resource Overview and Survey for the Los Angeles County Drainage Area Review Study

Affiliation: Archaeological Resource Management Corp.

Resources:

Quads: AZUSA, BALDWIN PARK, BURBANK, CONDOR PEAK, EL MONTE, GLENDORA, HOLLYWOOD, LONG BEACH, LOS ANGELES, MT BALDY, MT WILSON, PASADENA, SAN DIMAS, SAN FERNANDO, SUNLAND, VAN NUYS, WHITTIER

Pages:

Notes: Indexed. No specific location map provided.

LA-03526

Author(s): King, Thomas F., Theodore Gutman, and Joseph L. Chartkoff

Year: 1970

Title: Ucas-100 Survey of Regional Parks

Affiliation: UCAS

Resources: 19-000237, 19-000397

Quads: AGUA DULCE, GLENDORA, LA HABRA, MINT CANYON, MT BALDY, POINT DUME, SAN FERNANDO, TRIUNFO PASS, VALYERMO

Pages:

Notes: Included in the unmappables notebook and mapped pointing to the sites listed.

LA-03539

Author(s): Gates, Gerald R. and George M. Toren

Year: 1974

Title: Assessment of the Archaeological Impact by the Development of Browns Creek, Unit 4 and Browns Debris Basin City of Los Angeles and Unincorporated Territory of the County of Los Angeles, California

Affiliation: NARC

Resources: 19-000209, 19-000357, 19-000649

Quads: OAT MOUNTAIN

Pages:

Notes:

LA-03557

Author(s): Singer, Clay A., Thomas F. King, and James N. Hill

Year: 1969

Title: Ucas-325 Excavation of Medea Creek Village Site (4-LAN-243)

Affiliation: UCAS

Resources: 19-000243

Quads: MALIBU BEACH, OAT MOUNTAIN, POINT DUME, THOUSAND OAKS, TRIUNFO PASS

Pages:

Notes: Included in the unmappables notebook for the Malibu Beach, Point Dume, Triunfo Pass, and Oat Mountain Quadrangles. Also mapped pointing to site 19-000243.

SCCIC Bibliography: Unmappables: Golden Oaks Ranch Proj

LA-03584

Author(s): MacDonald, Lenora Johnson

Year: 1931

Title: Our Pioneer Mother

Affiliation: None

Resources:

Quads: LOS ANGELES, SAN FERNANDO

Pages:

Notes: Unmappable. Mentions areas in downtown Los Angeles, the San Fernando Valley, and Chatsworth.

LA-03588

Author(s): Hastey, Ed

Year: 1992

Title: Proposed South Coast Resource Management Plan and Final Environmental Impact Statement

Affiliation: Bureau of Land Management

Resources:

Quads: ACTON, AGUA DULCE, ALBERHILL, BEVERLY HILLS, BLACK MTN, BLACK STAR CANYON, BURBANK, BURNT PEAK, CALABASAS, CANADA GOBERNADORA, CANOGA PARK, CHILAO FLAT, COBBLESTONE MTN, CONDOR PEAK, CORONA SOUTH, CRYSTAL LAKE, DANA POINT, EL TORO, GREEN VALLEY, HOLLYWOOD, JUNIPER HILLS, LA LIEBRE RANCH, LAGUNA BEACH, LAKE HUGHES, LEBEC, LITTLEROCK, MALIBU BEACH, MESCAL CREEK, MINT CANYON, MOUNT SAN ANTONIO, NEENACH SCHOOL, NEWHALL, NEWPORT BEACH, OAT MOUNTAIN, ORANGE, PACIFICO MOUNTAIN, PALMDALE, POINT DUME, PRADO DAM, RITTER RIDGE, SAN CLEMENTE, SAN FERNANDO, SAN JUAN CAPISTRANO, SAN PEDRO, SANTA SUSANA, SANTIAGO PEAK, SEAL BEACH, SITTON PEAK, SLEEPY VALLEY, SUNLAND, THOUSAND OAKS, TOPANGA, TORRANCE, TRIUNFO PASS, TUSTIN, VAL VERDE, VALYERMO, VAN NUYS, WARM SPRINGS MOUNTAIN, WATERMAN MTN, WHITAKER PEAK

Pages:

Notes: Indexed report. This reports consists of a huge overview of Los Angeles and Orange Counties and involves all Orange County Quads and all except the NE quads of Los Angeles Co. All the Quad no. were entered. See report for full listing of Quad names.

LA-03590

Author(s): Gutman, Ted

Year: 1970

Title: Archaeological Survey at UCLA. Records and Papers of My Activity During 1969 (aug) Thru Dec 1970.

Affiliation: University of California, Los Angeles Archaeological Survey

Resources: 19-000197, 19-000217, 19-000237, 19-000243, 19-000357, 19-000397, 19-000414, 19-000415, 19-000422, 56-000027, 56-000039, 56-000065

Quads: CALABASAS, LAKE HUGHES, LANCASTER WEST, MALIBU BEACH, MINT CANYON, MT BALDY, PITAS POINT, POINT DUME, SAN FERNANDO, SANTA CATALINA EAST, SANTA CATALINA NORTH, SANTA CATALINA SOUTH, SANTA CATALINA WEST, THOUSAND OAKS

Pages:

Notes: Same as VN1468. Report indexed. No specific location maps provided. Sites mapped This report consists of letters, notes and draft site records for various projects between 1969 and 1970.

LA-03653

Author(s): McIntyre, Michael J.

Year: 1976

Title: Assessment of the Archaeological Impact by the Development of Tentative Tract No. 32732

Affiliation: Northridge Archaeological Research Center, CSUN

Resources:

Quads: SAN FERNANDO

Pages:

Notes: Indexed. Project location map not provided.

SCCIC Bibliography: Unmappables: Golden Oaks Ranch Proj

LA-03656

Author(s): Greenwood, Roberta S.

Year: 1976

Title: Archaeological Investigation Report for Draft Eir Victorville-rinaldi 500 Kv Transmission Line

Affiliation:

Resources:

Quads: AGUA DULCE, EL MIRAGE, LITTLEROCK, LOVEJOY BUTTES, MINT CANYON, PACIFICO MOUNTAIN, RITTER RIDGE, SAN FERNANDO, SLEEPY VALLEY, VAN NUYS

Pages:

Notes: Indexed. Project location map inadequate

LA-03796

Author(s):

Year: 1989

Title: Technical Report of Cultural Resources Studies for the Proposed Wtg-west, Inc. Los Angeles to San Francisco and Sacramento, California Fiber Optic Cable Project

Affiliation: BioSystems Analysis, Inc.

Resources: 19-000034, 19-000077, 19-000248, 19-000407, 19-000408, 19-000409, 19-000823, 19-001124, 19-001354

Quads: BLACK MTN, FRAZIER MOUNTAIN, WHITAKER PEAK

Pages: 226

Notes: Report is also listed as unmappable b/c pipeline covers quads that maps were not provided for.

LA-03882

Author(s): Colby, Susan M.

Year: 1984

Title: An Archaeological Resource Survey and Impact Assessment of a 4.83 Acre Parcel at 10815 Canoga Avenue in Chatsworth, City and County of Los Angeles (t.t. 43437)

Affiliation: University of California, Los Angeles Archaeological Survey

Resources:

Quads: OAT MOUNTAIN

Pages:

Notes:

LA-04103

Author(s): Unknown

Year: 1995

Title: Draft Cultural Resources Report for the Santa Clara River Enhancement and Management Plan

Affiliation: CH2M Hill

Resources:

Quads: ACTON, AGUA DULCE, FILLMORE, MINT CANYON, MOORPARK, NEWHALL, OXNARD, PIRU, SANTA PAULA, SATICOY, VAL VERDE

Pages:

Notes: Unmappable

SCCIC Bibliography: Unmappables: Golden Oaks Ranch Proj

LA-04464

Author(s): Lerch, Michael K.

Year: 1998

Title: Cultural Resources Inventory and Evaluation of the Ixc Carrier, Inc. Fiberoptic Longhaul Project From Henderson, Nevada to Los Angeles, California

Affiliation: Pacific Legacy, Inc.

Resources: 19-000535, 19-001534

Quads: ACTON, GREEN VALLEY, LITTLEROCK, LOVEJOY BUTTES, MINT CANYON, PALMDALE, RITTER RIDGE, SLEEPY VALLEY

Pages:

Notes: UNMAPPABLE

LA-05324

Author(s): Duke, Curt

Year: 2000

Title: Cultural Resource Assessment for Pacific Bell Mobile Services Facility La 965-12, County of Los Angeles, California

Affiliation: LSA Associates, Inc.

Resources:

Quads: NEWHALL

Pages:

Notes: Unmappable, was also known as LA6631 until deleted on 1/31/07

LA-06150

Author(s): Bonner, Wayne H.

Year: 2002

Title: Proposed Sprint Pcs Wireless Telecommunication Facility Project La37xc571a-valley Crest 18100-1/2 San Fernando Mission Road Los Angeles, Los Angeles County, California

Affiliation: Michael Brandman Associates

Resources:

Quads: OAT MOUNTAIN

Pages:

Notes: No map, unmapable

LA-07002

Author(s): Tuma, Michael W.

Year: 2003

Title: Cultural Resources Records Search and Reconnaissance Survey for the 13503 San Fernando Road Project, Sylmar, Los Angeles County, California

Affiliation: SWCA Environmental Consultants, Inc.

Resources:

Quads: SAN FERNANDO

Pages:

Notes: Unmapable due to very poor map, 19-000034 is outside area but mentioned. 19-000644 and 19-002132H also and are within .5 mile

SCCIC Bibliography: Unmappables: Golden Oaks Ranch Proj

LA-07008

Author(s): Unknown
Year: 2002
Title: Los Angeles Unified School District Site Expansion of Kennedy High School Facilities Located at 11254 Gothic Avenue, Granada Hills in the City of Los Angeles
Affiliation: McKenna et al.
Resources:
Quads: SAN FERNANDO
Pages:
Notes: Unmappable as no map provided, project area unknown

LA-07425

Author(s): McMorris, Christopher
Year: 2004
Title: City of Los Angeles Monumental Bridges 1900-1950: Historic Context and Evaluation Guidelines
Affiliation: JRP Historical Consulting
Resources:
Quads: BURBANK, HOLLYWOOD, LOS ANGELES, OAT MOUNTAIN, SUNLAND, TOPANGA, TORRANCE
Pages:
Notes: See oversized reports

LA-07426

Author(s): McMorris, Christopher
Year: 2004
Title: Caltrans Historic Bridge Inventory Update: Concrete Arch Bridges
Affiliation: JRP Historical Consulting
Resources:
Quads: BEVERLY HILLS, CANADA GOVERNADORA, CHILAO FLAT, CONDOR PEAK, HOLLYWOOD, LOS ANGELES, MATILJA, PASADENA, SAN FERNANDO, SAN PEDRO, SOUTH GATE, TOPANGA, VENICE, YORBA LINDA
Pages:
Notes: See oversized reports, Unmappable. Same as VN2625 and OR3628.

LA-07570

Author(s): Noiron, Judy
Year: 2005
Title: Historic Context Statement the Southern California Transmission/distribution Line Systems Within the Angeles National Forest
Affiliation: U.S. Forest Service
Resources:
Quads: AGUA DULCE, AZUSA, BLACK MTN, CHILAO FLAT, GLENDORA, LEBEC, LIEBRE MTN, MOUNT SAN ANTONIO, MT BALDY, MT WILSON, NEWHALL, PASADENA, SAN FERNANDO, VAN NUYS, WHITAKER PEAK
Pages:
Notes:

SCCIC Bibliography: Unmappables: Golden Oaks Ranch Proj

LA-07837

Author(s): Knight, Albert

Year: 2001

Title: Rock Art of the Santa Monica and the Santa Susana Mountains

Affiliation: Albert Knight

Resources: 19-000045, 19-000048, 19-000049, 19-000078, 19-000089, 19-000188, 19-000340, 19-000354, 19-000357, 19-000403, 19-000448, 19-000449, 19-000640, 19-000717, 19-000743, 19-000748, 19-001540, 56-000008, 56-000035, 56-000037, 56-000057, 56-000119, 56-000149, 56-000163, 56-000165, 56-000195, 56-000203, 56-000242, 56-000314, 56-000612, 56-000613, 56-000630, 56-000632, 56-000732, 56-001072

Quads: CALABASAS, MALIBU BEACH, NEWBURY PARK, OAT MOUNTAIN, POINT DUME, SANTA SUSANA, THOUSAND OAKS, TOPANGA, TRIUNFO PASS

Pages:

Notes:

LA-08227

Author(s): Cooley, Theodore and Andrea Craft

Year: 2004

Title: Archaeological Survey Report See Deteriorated Pole Replacement Program Python 16 Kv Circuit Angeles National Forest, Los Angeles County, California

Affiliation: Mooney/Hayes Associates, LLC

Resources: 19-000237, 19-000446, 19-001877, 19-002035, 19-003133, 19-003183, 19-100114, 19-186881

Quads: MINT CANYON, SAN FERNANDO

Pages:

Notes:

LA-08242

Author(s): Romani, John F. and Gwendolyn, Romani

Year: 1992

Title: Route 126, I-5 to Sr-14, Santa Clarita, Los Angeles County, California Final Historic Property Survey Report
Sch Number: 90011149 7-1a-126-5.8/12.7 07820-065710

Affiliation: Parsons Brinckerhoff Quade & Douglas, Inc.

Resources: 19-000351, 19-001829, 19-001845

Quads: MINT CANYON, NEWHALL

Pages:

Notes: Unmappable

LA-08955

Author(s): King, Phil V.

Year: 1983

Title: Final Report for Year Three Historical and Cultural Resources Survey of Los Angeles: Sylmar, Watts, Crenshaw, and Vermont/slauson

Affiliation: Los Angeles Department of Public Works

Resources: 19-169869

Quads: HOLLYWOOD, SAN FERNANDO, SOUTH GATE

Pages:

Notes: Unmappable

SCCIC Bibliography: Unmappables: Golden Oaks Ranch Proj

LA-10359

Author(s): Tebo, Susan, Judy Charles, Joe Decruyendere, and Mark Austin
Year: 2009
Title: Draft Program EIR for the County of Los Angeles' Proposed Santa Clarita Valley Area Plan
Affiliation: Impact Sciences, Inc
Resources: 19-000361, 19-000366, 19-000367
Quads: AGUA DULCE, BLACK MTN, BURNT PEAK, COBBLESTONE MTN, GREEN VALLEY, LAKE HUGHES, LIEBRE MTN, MINT CANYON, NEWHALL, OAT MOUNTAIN, SAN FERNANDO, SANTA SUSANA, SLEEPY VALLEY, VAL VERDE, WARM SPRINGS MOUNTAIN, WHITAKER PEAK
Pages: 4929
Notes: * See Disc for entire report. Includes Vol. II and Appendices. * UNMAPPABLE

LA-10397

Author(s): Berryman, Judy and Craig Woodman
Year: 2001
Title: Draft Final: Archaeological Monitoring Along the Pacific Pipeline
Affiliation: Science Applications International Corporation
Resources: 19-000007, 19-000990, 19-000991, 19-000992, 19-001141, 19-001305, 19-001575, 19-001834, 19-002058, 19-002116, 19-002117, 19-002118, 19-002119, 19-002120, 19-002372, 19-002373, 19-002374, 19-002375, 19-002480, 19-002578, 19-002579, 19-002580, 19-002581, 19-002582
Quads: BLACK MTN, BURBANK, COBBLESTONE MTN, FRAZIER MOUNTAIN, HOLLYWOOD, LIEBRE MTN, LONG BEACH, LOS ANGELES, NEWHALL, SAN FERNANDO, SOUTH GATE, VAN NUYS, WHITAKER PEAK
Pages: 174
Notes: Also VN2814

LA-10427

Author(s): Knight, Albert
Year: 2010
Title: The Rock Art of the Sierra Pelona Mountains, Central Los Angeles County, California
Affiliation: Santa Barbara Museum of Natural History
Resources: 19-000079, 19-000445, 19-000538, 19-000540, 19-000655, 19-000656, 19-000857, 19-000947, 19-000959, 19-001035, 19-001132, 19-001169, 19-001171, 19-001172, 19-001213, 19-001247, 19-001279, 19-001281, 19-001335, 19-001442, 19-001443, 19-001462, 19-001576, 19-001628, 19-001630, 19-001632, 19-001633, 19-001634, 19-001635, 19-001636, 19-001767, 19-001768, 19-001878, 19-001956, 19-001957, 19-001958
Quads: ACTON, AGUA DULCE, GREEN VALLEY, MINT CANYON, NEWHALL, RITTER RIDGE, SLEEPY VALLEY, WARM SPRINGS MOUNTAIN
Pages: 14
Notes: Unmappable. Mapped to sites in GIS.

LA-10792

Author(s): Unknown
Year: 2010
Title: Revised Draft Program EIR for the County of Los Angeles' Proposed Santa Clarita Valley Area Plan, Vol. 1
Affiliation: Impact Sciences, Inc.
Resources:
Quads: AGUA DULCE, BLACK MTN, BURNT PEAK, COBBLESTONE MTN, GREEN VALLEY, LIEBRE MTN, MINT CANYON, NEWHALL, OAT MOUNTAIN, SAN FERNANDO, SLEEPY VALLEY, VAL VERDE, WARM SPRINGS MOUNTAIN, WHITAKER PEAK
Pages: 7429
Notes: -UNMAPPABLE- See Digital file for resources list, pgs. 787-809

APPENDIX C – PALEONTOLOGICAL RESOURCES RECORDS SEARCH RESULTS

28 December 2009

Planning Consultants Research
233 Wilshire Boulevard, Suite 130
Santa Monica, CA 90401

Attn: Matthew Gonzalez, Assistant Archaeologist / Paleontologist

re: Paleontological Records Search for the proposed Golden Oaks Ranch Project, Los Angeles
County, project area

Dear Matthew:

I have conducted a thorough search of our Vertebrate Paleontology records for the proposed Golden Oaks Ranch Project, Los Angeles County, project area as outlined on the portion of the Mint Canyon USGS topographic quadrangle map that you sent to me via e-mail on 23 December 2009. We do not have any vertebrate fossil localities that lie directly within the proposed project area boundaries, but we do have localities nearby from the same sedimentary deposits that occur in the proposed project area.

Most of the proposed project area, the lower lying portions, have surficial deposits composed of younger Quaternary Alluvium, derived primarily as fluvial deposits from Placerita Creek that flows through the middle of the proposed project area. These deposits typically do not contain significant vertebrate fossils, at least in the uppermost layers, but may be underlain at relatively shallow depth in the proposed project area by older Quaternary or Tertiary deposits. In the more elevated terrain in the northern portion of the proposed project area there are exposures of the Pliocene Saugus Formation that may be overlain in part by older Quaternary high terrace deposits.

Our closest vertebrate fossil localities in the older Quaternary deposits are located almost due south of the proposed project area around the Van Norman Reservoir. These localities include LACM 1733 that produced specimens of fossil horse, *Equus*; LACM 3397 that produced fossil specimens of bison, *Bison*; LACM 5745 that produced fossil specimens of mastodon, *Mammut*, and horse, *Equus*; and LACM 7152 that produced fossil specimens of mammoth, *Mammuthus*, and bison, *Bison*.

Our closest vertebrate fossil localities in the Saugus Formation are LACM 6803-6804 and 6871, northwest of the proposed project area around Saugus and Castaic Creeks. Fossil camel, Camelidae, and horse, *Equus*, specimens were recovered from LACM 6803-6804 and LACM 6871 produced fossil specimens of dog, Canidae, in addition to horse, *Equus*, and camel, Camelidae. Farther northwest of the proposed project area, near Val Verde, we have the fossil localities LACM 6062-6063 that produced fossil specimens of alligator lizard, *Gerrhonotus*, rabbit, Leporidae, pocket mouse, *Perognathus*, pocket gopher, *Thomomys*, and horse, *Equus*. South-southwest of the proposed project area north of California Highway 118 and west of the Van Norman Reservoir, locality LACM 6601 produced specimens of fossil deer, Cervidae, as well as a rare specimen of a fossil tapir, *Tapirus merriami*, figured in the literature by G. T. Jefferson (1989. LACM Contributions in Science, 406:1-21).

Shallow excavations in the younger Quaternary Alluvium exposed in most of the proposed project area probably will not uncover any significant vertebrate fossils. Deeper excavations in those portions of the proposed project area that extend down into older deposits, as well as any excavations in the Pliocene Saugus Formation or older Quaternary deposits have a good chance of discovering significant, and perhaps even rare, fossil vertebrates. Any substantial excavations in the proposed project area, therefore, should be monitored closely to quickly and professionally recover any fossil remains while not impeding development. Also, as indicated above, some of the significant vertebrate fossils from the Saugus Formation are very small specimens that would typically be missed in monitoring for large construction projects. Therefore it is recommended that sediment samples be collected and processed to determine the potential for small fossils in these deposits. Any fossils collected should be placed in an accredited scientific institution for the benefit of current and future generations.

This records search covers only the vertebrate paleontology records of the Natural History Museum of Los Angeles County. It is not intended to be a thorough paleontological survey of the proposed project area covering other institutional records, a literature survey, or any potential on-site survey.

Sincerely,



Samuel A. McLeod, Ph.D.
Vertebrate Paleontology

enclosure: draft invoice

APPENDIX D – NAHC SLF SEARCH RESULTS, NATIVE AMERICAN CONTACT LIST, AND NATIVE AMERICAN CONSULTATION DOCUMENTATION



December 23, 2009

Mr. Dave Singleton, Program Analyst
NATIVE AMERICAN HERITAGE COMMISSION
915 Capitol Mall, Room 364
Sacramento, California 95814

**Re: SACRED LANDS FILE SEARCH AND NATIVE AMERICAN CONTACT LIST
REQUEST: PROPOSED GOLDEN OAKS RANCH PROJECT, LOS ANGELES
COUNTY, CALIFORNIA**

Dear Mr. Singleton:

PCR Services Corporation (PCR) is preparing environmental documentation at the state and federal level for the proposed Golden Oaks Ranch Project in Los Angeles County, California. Disney is coordinating the development of an approximately 56-acre area which would provide up to twelve soundstages, production offices, mills, a warehouse, writers/producers bungalows, a commissary and other amenities, an administration building, a central plant, an electrical substation and associated facilities within the project area. As part of this effort, and in compliance with federal, state, and local environmental regulations, we are initiating correspondence and consultation efforts regarding the identification of prehistoric or Native American cultural resources and sacred lands within this project site and vicinity.

To ensure that any areas containing previously recorded cultural resources and sacred lands are identified and considered, PCR is requesting a Sacred Lands Search of the project site. The project site is illustrated in sections 6 and 31 of the 1960 (photo-revised 1988) Mint Canyon, CA United States Geological Survey (USGS) 7.5' quadrangle maps in Townships 3 and 4 North, Range 15 West (Figure 1, attached). We are also requesting a current Native American contact list to conduct further consultation regarding the identification of prehistoric or Native American resources.

Thank you for your assistance with our efforts to address possible Native American concerns that may be affected by the proposed project. If you have any questions or need additional information, please contact me at (949) 753-7001 or via email at m.gonzalez@pcrnet.com.

Sincerely,
PCR SERVICES CORPORATION

Matthew Gonzalez
Assistant Archaeologist/Paleontologist

Attachment

STATE OF CALIFORNIAArnold Schwarzenegger, Governor**NATIVE AMERICAN HERITAGE COMMISSION**

915 CAPITOL MALL, ROOM 364
SACRAMENTO, CA 95814
(916) 653-6251
Fax (916) 657-5390
Web Site www.nahc.ca.gov
e-mail: ds_nahc@pacbell.net



December 28, 2009

Matthew Gonzalez
PCR
233 Wilshire Boulevard, Suite 130
Santa Monica, CA 90401

Sent by Fax: 310-451-5279
Number of Pages: 2

Re: Proposed Golden Oaks Ranch Project, Los Angeles County.

Dear Mr. Gonzalez:

The Native American Heritage Commission was able to perform a record search of its Sacred Lands File (SLF) for the affected project area. The SLF failed to indicate the presence of Native American cultural resources in the immediate project area. The absence of specific site information in the Sacred Lands File does not guarantee the absence of cultural resources in any 'area of potential effect (APE).'

Early consultation with Native American tribes in your area is the best way to avoid unanticipated discoveries once a project is underway. Enclosed are the nearest tribes that may have knowledge of cultural resources in the project area. A List of Native American contacts are attached to assist you. The Commission makes no recommendation of a single individual or group over another. It is advisable to contact the person listed; if they cannot supply you with specific information about the impact on cultural resources, they may be able to refer you to another tribe or person knowledgeable of the cultural resources in or near the affected project area (APE).

Lack of surface evidence of archeological resources does not preclude the existence of archeological resources. Lead agencies should consider avoidance, as defined in Section 15370 of the California Environmental Quality Act (CEQA) when significant cultural resources could be affected by a project. Also, Public Resources Code Section 5097.98 and Health & Safety Code Section 7050.5 provide for provisions for accidentally discovered archeological resources during construction and mandate the processes to be followed in the event of an accidental discovery of any human remains in a project location other than a 'dedicated cemetery. Discussion of these should be included in your environmental documents, as appropriate.

If you have any questions about this response to your request, please do not hesitate to contact me at (916) 653-6251.

Sincerely,

A handwritten signature in black ink, appearing to read "Dave Singleton".

Dave Singleton
Program Analyst

Attachment: Native American Contact List

Native American Contacts
Los Angeles County
December 28, 2009

Charles Cooke
32835 Santiago Road
Acton, CA 93510

(661) 733-1812 - cell
suscol@intox.net

Chumash
Fernandeno
Tataviam
Kitanemuk

Tongva Ancestral Territorial Tribal Nation
John Tommy Rosas, Tribal Admin.

tattnlaw@gmail.com
310-570-6567

Gabrielino Tongva

Beverly Salazar Folkes
1931 Shadybrook Drive
Thousand Oaks, CA 91362
805 492-7255
(805) 558-1154 - cell
folkes9@msn.com

Chumash
Tataviam
Ferrnandeño

Kitanemuk & Yowlumne Tejon Indians
Delia Dominguez

981 N. Virginia
Covina, CA 91722
(626) 339-6785

Yowlumne
Kitanemuk

Fernandeno Tataviam Band of Mission Indians
William Gonzales, Cultural/Environ Depart
601 South Brand Boulevard, Suite 102
San Fernando CA 91340
ortega@tataviam-nsn.us

(818) 837-0794 Office
(818) 581-9293 Cell
(818) 837-0796 Fax

Fernandeno
Tataviam

San Fernando Band of Mission Indians
John Valenzuela, Chairperson

P.O. Box 221838
Newhall, CA 91322
tsen2u@live.com

(661) 753-9833 Office
(760) 885-0955 Cell
(760) 949-1604 Fax

Fernandeño
Tataviam
Serrano
Vanyume
Kitanemuk

LA City/County Native American Indian Comm
Ron Andrade, Director
3175 West 6th Street, Rm.
Los Angeles, CA 90020
(213) 351-5324
(213) 386-3995 FAX

Randy Guzman - Folkes
655 Los Angeles Avenue, Unit E
Moorpark, CA 93021
ndnRandy@gmail.com
(805) 905-1675 - cell

Chumash
Fernandeño
Tataviam
Shoshone Paiute
Yaqui

This list is current only as of the date of this document.

Distribution of this list does not relieve any person of statutory responsibility as defined in Section 7050.5 of the Health and Safety Code, Section 5097.94 of the Public Resources Code and Section 5097.98 of the Public Resources Code. Also, federal National Environmental Policy Act (NEPA), National Historic Preservation Act, Section 106, and federal NAGPRA.

This list is only applicable for contacting local Native Americans with regard to cultural resources for the proposed Golden Oaks Ranch Entertainment Production Project; located in the Mint Canyon area of the County of Los Angeles, California for which a Sacred Lands File search and Native American Contacts were requested.

January 11, 2010

Mr. Ron Andrade
LA City/County Native American Indian Commission
3175 West 6th Street
Room 403
Los Angeles, CA 90020

BY CERTIFIED MAIL RETURN RECEIPT

**Re: PROPOSED GOLDEN OAKS RANCH PROJECT, LOS ANGELES COUNTY,
CALIFORNIA**

Dear Mr. Andrade:

PCR Services Corporation (PCR) is preparing environmental documentation at the state and federal level for the proposed Golden Oaks Ranch Project in Los Angeles County, California. Disney is coordinating the development of an approximately 56-acre area which would provide up to twelve soundstages, production offices, mills, a warehouse, writers/producers bungalows, a commissary and other amenities, an administration building, a central plant, an electrical substation and associated facilities within the project area. As part of this effort, and in compliance with federal, state, and local environmental regulations, we are initiating correspondence and consultation efforts regarding the identification of prehistoric or Native American cultural resources and sacred lands within this project site and vicinity.

In order to ensure that any areas containing cultural resources or sacred lands are considered, PCR requests any information you are willing to share regarding Native American resources (including properties, places, or archaeological sites) in the vicinity of the project site that may be affected by the proposed project. The project site is illustrated in sections 6 and 31 of the 1960 (photo-revised 1988) Mint Canyon, CA United States Geological Survey (USGS) 7.5' quadrangle maps in Townships 3 and 4 North, Range 15 West (Figure 1, attached).

Thank you for your assistance with our efforts to address possible Native American concerns that may be affected by the proposed project. If you have any questions or need additional information, please contact me at (949) 753-7001 or via email at m.gonzalez@pcrnet.com.

Sincerely,

PCR SERVICES CORPORATION



Matthew Gonzalez
Assistant Archaeologist/Paleontologist

Attachment

January 11, 2010

Mr. Charles Cooke
Chumas, Fernandeno, Tataviam, Kitanemuk
32835 Santiago Road
Acton, CA 93510

BY CERTIFIED MAIL RETURN RECEIPT

**Re: PROPOSED GOLDEN OAKS RANCH PROJECT, LOS ANGELES COUNTY,
CALIFORNIA**

Dear Mr. Cooke:

PCR Services Corporation (PCR) is preparing environmental documentation at the state and federal level for the proposed Golden Oaks Ranch Project in Los Angeles County, California. Disney is coordinating the development of an approximately 56-acre area which would provide up to twelve soundstages, production offices, mills, a warehouse, writers/producers bungalows, a commissary and other amenities, an administration building, a central plant, an electrical substation and associated facilities within the project area. As part of this effort, and in compliance with federal, state, and local environmental regulations, we are initiating correspondence and consultation efforts regarding the identification of prehistoric or Native American cultural resources and sacred lands within this project site and vicinity.

In order to ensure that any areas containing cultural resources or sacred lands are considered, PCR requests any information you are willing to share regarding Native American resources (including properties, places, or archaeological sites) in the vicinity of the project site that may be affected by the proposed project. The project site is illustrated in sections 6 and 31 of the 1960 (photo-revised 1988) Mint Canyon, CA United States Geological Survey (USGS) 7.5' quadrangle maps in Townships 3 and 4 North, Range 15 West (Figure 1, attached).

Thank you for your assistance with our efforts to address possible Native American concerns that may be affected by the proposed project. If you have any questions or need additional information, please contact me at (949) 753-7001 or via email at m.gonzalez@pcrnet.com.

Sincerely,

PCR SERVICES CORPORATION

A handwritten signature in black ink that reads "Matt Gonzalez". The signature is written in a cursive, flowing style.

Matthew Gonzalez
Assistant Archaeologist/Paleontologist

Attachment

January 11, 2010

Ms. Delia Dominguez
Kitanemuk & Yowlumne Tejon Indians
981 North Virginia
Covina, CA 91722

BY CERTIFIED MAIL RETURN RECEIPT

**Re: PROPOSED GOLDEN OAKS RANCH PROJECT, LOS ANGELES COUNTY,
CALIFORNIA**

Dear Ms. Dominguez:

PCR Services Corporation (PCR) is preparing environmental documentation at the state and federal level for the proposed Golden Oaks Ranch Project in Los Angeles County, California. Disney is coordinating the development of an approximately 56-acre area which would provide up to twelve soundstages, production offices, mills, a warehouse, writers/producers bungalows, a commissary and other amenities, an administration building, a central plant, an electrical substation and associated facilities within the project area. As part of this effort, and in compliance with federal, state, and local environmental regulations, we are initiating correspondence and consultation efforts regarding the identification of prehistoric or Native American cultural resources and sacred lands within this project site and vicinity.

In order to ensure that any areas containing cultural resources or sacred lands are considered, PCR requests any information you are willing to share regarding Native American resources (including properties, places, or archaeological sites) in the vicinity of the project site that may be affected by the proposed project. The project site is illustrated in sections 6 and 31 of the 1960 (photo-revised 1988) Mint Canyon, CA United States Geological Survey (USGS) 7.5' quadrangle maps in Townships 3 and 4 North, Range 15 West (Figure 1, attached).

Thank you for your assistance with our efforts to address possible Native American concerns that may be affected by the proposed project. If you have any questions or need additional information, please contact me at (949) 753-7001 or via email at m.gonzalez@pcrnet.com.

Sincerely,

PCR SERVICES CORPORATION

A handwritten signature in black ink that reads "Matt Gonzalez". The signature is written in a cursive, flowing style.

Matthew Gonzalez
Assistant Archaeologist/Paleontologist

Attachment

January 11, 2010

Mr. Randy Guzman-Folkes
Chumash Fernandeno Tataviam Shoshone Paiute Yaqui
655 Los Angeles Avenue
Unit E
Moorpark, CA 93021

BY CERTIFIED MAIL RETURN RECEIPT

**Re: PROPOSED GOLDEN OAKS RANCH PROJECT, LOS ANGELES COUNTY,
CALIFORNIA**

Dear Mr. Guzman-Folkes:

PCR Services Corporation (PCR) is preparing environmental documentation at the state and federal level for the proposed Golden Oaks Ranch Project in Los Angeles County, California. Disney is coordinating the development of an approximately 56-acre area which would provide up to twelve soundstages, production offices, mills, a warehouse, writers/producers bungalows, a commissary and other amenities, an administration building, a central plant, an electrical substation and associated facilities within the project area. As part of this effort, and in compliance with federal, state, and local environmental regulations, we are initiating correspondence and consultation efforts regarding the identification of prehistoric or Native American cultural resources and sacred lands within this project site and vicinity.

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Thank you for your assistance with our efforts to address possible Native American concerns that may be affected by the proposed project. If you have any questions or need additional information, please contact me at (949) 753-7001 or via email at m.gonzalez@pcrnet.com.

Sincerely,

PCR SERVICES CORPORATION



Matthew Gonzalez
Assistant Archaeologist/Paleontologist

Attachment

January 11, 2010

Ms. Beverly Salazar Folkes
Chumas, Tataviam, Fernandeno
1931 Shadybrook Drive
Thousand Oaks, CA 91362

BY CERTIFIED MAIL RETURN RECEIPT

**Re: PROPOSED GOLDEN OAKS RANCH PROJECT, LOS ANGELES COUNTY,
CALIFORNIA**

Dear Ms. Salazar Folkes:

PCR Services Corporation (PCR) is preparing environmental documentation at the state and federal level for the proposed Golden Oaks Ranch Project in Los Angeles County, California. Disney is coordinating the development of an approximately 56-acre area which would provide up to twelve soundstages, production offices, mills, a warehouse, writers/producers bungalows, a commissary and other amenities, an administration building, a central plant, an electrical substation and associated facilities within the project area. As part of this effort, and in compliance with federal, state, and local environmental regulations, we are initiating correspondence and consultation efforts regarding the identification of prehistoric or Native American cultural resources and sacred lands within this project site and vicinity.

In order to ensure that any areas containing cultural resources or sacred lands are considered, PCR requests any information you are willing to share regarding Native American resources (including properties, places, or archaeological sites) in the vicinity of the project site that may be affected by the proposed project. The project site is illustrated in sections 6 and 31 of the 1960 (photo-revised 1988) Mint Canyon, CA United States Geological Survey (USGS) 7.5' quadrangle maps in Townships 3 and 4 North, Range 15 West (Figure 1, attached).

Thank you for your assistance with our efforts to address possible Native American concerns that may be affected by the proposed project. If you have any questions or need additional information, please contact me at (949) 753-7001 or via email at m.gonzalez@pcrnet.com.

Sincerely,

PCR SERVICES CORPORATION

A handwritten signature in black ink that reads "Matt Gonzalez". The signature is written in a cursive, flowing style.

Matthew Gonzalez
Assistant Archaeologist/Paleontologist

Attachment

January 11, 2010

Mr. John Valenzuela
San Fernando Band of Mission Indians
P.O. Box 221838
Newhall, CA 91322

BY CERTIFIED MAIL RETURN RECEIPT

**Re: PROPOSED GOLDEN OAKS RANCH PROJECT, LOS ANGELES COUNTY,
CALIFORNIA**

Dear Mr. Valenzuela:

PCR Services Corporation (PCR) is preparing environmental documentation at the state and federal level for the proposed Golden Oaks Ranch Project in Los Angeles County, California. Disney is coordinating the development of an approximately 56-acre area which would provide up to twelve soundstages, production offices, mills, a warehouse, writers/producers bungalows, a commissary and other amenities, an administration building, a central plant, an electrical substation and associated facilities within the project area. As part of this effort, and in compliance with federal, state, and local environmental regulations, we are initiating correspondence and consultation efforts regarding the identification of prehistoric or Native American cultural resources and sacred lands within this project site and vicinity.

In order to ensure that any areas containing cultural resources or sacred lands are considered, PCR requests any information you are willing to share regarding Native American resources (including properties, places, or archaeological sites) in the vicinity of the project site that may be affected by the proposed project. The project site is illustrated in sections 6 and 31 of the 1960 (photo-revised 1988) Mint Canyon, CA United States Geological Survey (USGS) 7.5' quadrangle maps in Townships 3 and 4 North, Range 15 West (Figure 1, attached).

Thank you for your assistance with our efforts to address possible Native American concerns that may be affected by the proposed project. If you have any questions or need additional information, please contact me at (949) 753-7001 or via email at m.gonzalez@pcrnet.com.

Sincerely,

PCR SERVICES CORPORATION

A handwritten signature in black ink that reads "Matt Gonzalez". The signature is written in a cursive, flowing style.

Matthew Gonzalez
Assistant Archaeologist/Paleontologist

Attachment

January 11, 2010

Mr. William Gonzalez
Fernandeno Tataviam Band of Mission Indians
601 S Brand Blvd,
Suite 102
San Fernando, CA 91340

BY CERTIFIED MAIL RETURN RECEIPT

**Re: PROPOSED GOLDEN OAKS RANCH PROJECT, LOS ANGELES COUNTY,
CALIFORNIA**

Dear Mr. Gonzalez:

PCR Services Corporation (PCR) is preparing environmental documentation at the state and federal level for the proposed Golden Oaks Ranch Project in Los Angeles County, California. Disney is coordinating the development of an approximately 56-acre area which would provide up to twelve soundstages, production offices, mills, a warehouse, writers/producers bungalows, a commissary and other amenities, an administration building, a central plant, an electrical substation and associated facilities within the project area. As part of this effort, and in compliance with federal, state, and local environmental regulations, we are initiating correspondence and consultation efforts regarding the identification of prehistoric or Native American cultural resources and sacred lands within this project site and vicinity.

In order to ensure that any areas containing cultural resources or sacred lands are considered, PCR requests any information you are willing to share regarding Native American resources (including properties, places, or archaeological sites) in the vicinity of the project site that may be affected by the proposed project. The project site is illustrated in sections 6 and 31 of the 1960 (photo-revised 1988) Mint Canyon, CA United States Geological Survey (USGS) 7.5' quadrangle maps in Townships 3 and 4 North, Range 15 West (Figure 1, attached).

Thank you for your assistance with our efforts to address possible Native American concerns that may be affected by the proposed project. If you have any questions or need additional information, please contact me at (949) 753-7001 or via email at m.gonzalez@pcrnet.com.

Sincerely,

PCR SERVICES CORPORATION



Matthew Gonzalez
Assistant Archaeologist/Paleontologist

Attachment

February 1, 2010

Ms. Ann Brierty
Policy/Cultural Resources Department
SAN MANUEL BAND OF MISSION INDIANS
26569 Community Center Drive,
Highland, CA 92364

BY CERTIFIED MAIL RETURN RECEIPT

**Re: PROPOSED GOLDEN OAKS RANCH PROJECT, LOS ANGELES COUNTY,
CALIFORNIA**

Dear Ms. Brierty:

PCR Services Corporation (PCR) is preparing environmental documentation at the state and federal level for the proposed Golden Oaks Ranch Project in Los Angeles County, California. Disney is coordinating the development of an approximately 56-acre area which would provide up to twelve soundstages, production offices, mills, a warehouse, writers/producers bungalows, a commissary and other amenities, an administration building, a central plant, an electrical substation and associated facilities within the project area. As part of this effort, and in compliance with federal, state, and local environmental regulations, we are initiating correspondence and consultation efforts regarding the identification of prehistoric or Native American cultural resources and sacred lands within this project site and vicinity.

In order to ensure that any areas containing cultural resources or sacred lands are considered, PCR requests any information you are willing to share regarding Native American resources (including properties, places, or archaeological sites) in the vicinity of the project site that may be affected by the proposed project. The project site is illustrated in sections 6 and 31 of the 1960 (photo-revised 1988) Mint Canyon, CA United States Geological Survey (USGS) 7.5' quadrangle maps in Townships 3 and 4 North, Range 15 West (Figure 1, attached).

Thank you for your assistance with our efforts to address possible Native American concerns that may be affected by the proposed project. If you have any questions or need additional information, please contact me at (949) 753-7001 or via email at m.gonzalez@pcrnet.com.

Sincerely,

PCR SERVICES CORPORATION



Matthew Gonzalez
Assistant Archaeologist/Paleontologist

Attachment

January 11, 2010



Mr. John Tommy Rosas
Tongva Ancestral Territorial Tribal Nation
tattnlaw@gmail.com

**Re: PROPOSED GOLDEN OAKS RANCH PROJECT, LOS ANGELES COUNTY,
CALIFORNIA**

Dear Mr. Rosas:

PCR Services Corporation (PCR) is preparing environmental documentation at the state and federal level for the proposed Golden Oaks Ranch Project in Los Angeles County, California. Disney is coordinating the development of an approximately 56-acre area which would provide up to twelve soundstages, production offices, mills, a warehouse, writers/producers bungalows, a commissary and other amenities, an administration building, a central plant, an electrical substation and associated facilities within the project area. As part of this effort, and in compliance with federal, state, and local environmental regulations, we are initiating correspondence and consultation efforts regarding the identification of prehistoric or Native American cultural resources and sacred lands within this project site and vicinity.

In order to ensure that any areas containing cultural resources or sacred lands are considered, PCR requests any information you are willing to share regarding Native American resources (including properties, places, or archaeological sites) in the vicinity of the project site that may be affected by the proposed project. The project site is illustrated in sections 6 and 31 of the 1960 (photo-revised 1988) Mint Canyon, CA United States Geological Survey (USGS) 7.5' quadrangle maps in Townships 3 and 4 North, Range 15 West (Figure 1, attached).

Thank you for your assistance with our efforts to address possible Native American concerns that may be affected by the proposed project. If you have any questions or need additional information, please contact me at (949) 753-7001 or via email at m.gonzalez@pcrnet.com.

Sincerely,
PCR SERVICES CORPORATION

A handwritten signature in black ink that reads "Matthew Gonzalez".

Matthew Gonzalez
Assistant Archaeologist/Paleontologist

Attachment



Larry J. Ortega Sr.
Tribal President

Fernandeano Tataviam Band of Mission Indians
Tribal Historic & Cultural Preservation

January 25, 2010

Matthew Gonzalez
PCR Services Corporation
233 Wilshire Blvd., Suite 130
Santa Monica, CA 90401

Re: Golden Oaks Ranch Project

Dear Mr. Gonzalez,

We appreciate the opportunity to provide comments on the proposed Golden Oaks Ranch Project. The Fernandeano Tataviam Band of Mission Indians (Tribe) is a California Native American Indian government in Northern Los Angeles County. The State of California trustee agency for Native American Cultural Resource and the Native American Heritage Commission designated the Tribe as the local trustee agency within Northern Los Angeles County by limits of its tribal historic boundaries. The Tribe fully engages, to the extent of the respected governing laws, to protect and maintain all historic and cultural sites in which the Tribe may have interest.

After careful review of the information you provided, the Tribe has concluded that there is concern of cultural resources may be impacted during the course of soil disturbance and removal of Oak trees. The area of the proposed project site is considered highly sensitive of Native American Cultural Resources, as numerous archaeological sites have been documented in the surrounding areas. These areas were used for habitation, hunting, occupational sites, religious worship and burials. Given the potential for disturbance, the Tribe requests that the project formally proceed with tribal consultation and proposes to provide tribal monitoring during project operation.

Should you have any questions, please contact Nicole Johnson, Director of Public Affairs at njohnson@tataviam-nsn.us.

Sincerely,

for 

William Gonzales
THCP Committee Chairman



Memorandum

TO: Team Archaeo

DATE: February 04, 2010

CC:

FROM: Beverly Salazar Folkes

RE: NATIVE AMERICAN CONCERNS FOR THE PROPOSED GOLDEN OAKS RANCH PROJECT

At approximately 11:15am on February 4, 2010, PCR Archaeologist Matthew Gonzalez spoke with Beverly Salazar Folkes over the phone regarding her concerns about the proposed Golden Oaks Ranch Project. Ms. Folkes stated that the development area is in a very sensitive area with known burial sites near by. She also said that even though the majority of the proposed project is located in fill, there is still a very good chance of finding culturally sensitive resources during earth moving activities. This is due to the lack of laws and concern during the time the fill was placed on the site. She also stated that there have been numerous projects both near the proposed project and in other areas around California where Native American remains and resources have been unearthed in "supposed fill areas." Ms. Folkes is recommending at the very least archaeological monitoring and if possible, Native American Monitoring during all earth moving activities. She also mentioned that she would like to be kept apprised as to any updates for this site through email.



Memorandum

TO: Team Archaeo

DATE: February 05, 2010

CC:

FROM: Randy Guzman Folkes

RE: NATIVE AMERICAN CONCERNS FOR THE PROPOSED GOLDEN OAKS RANCH PROJECT

At approximately 11:30am on February 4, 2010, PCR Archaeologist Matthew Gonzalez spoke with Randy Guzman Folkes over the phone regarding his concerns about the proposed Golden Oaks Ranch Project. Mr. Folkes stated that the development area is in a very sensitive area with known burial sites near by. He also stated that the entire Santa Clarita area is known to them as a "Shrine Area." Mr. Folkes also said that even though the majority of the proposed project is located in fill, there is still a very good chance of finding culturally sensitive resources during earth moving activities. This is due to the lack of laws and concern during the time the fill was placed on the site. Mr. Folkes is recommending at the very least archaeological monitoring and if possible, Native American Monitoring during all earth moving activities. He also stated that because this site is located near the flood channels of Santa Clarita, we should "proceed with extreme caution" because there is a good chance that we run into resources that have been buried by flooding.



July 15, 2010

Mr. Dave Singleton, Program Analyst
NATIVE AMERICAN HERITAGE COMMISSION
915 Capitol Mall, Room 364
Sacramento, California 95814

Re: EXPEDITED SACRED LANDS FILE SEARCH AND NATIVE AMERICAN CONTACT LIST REQUEST: PROPOSED GOLDEN OAKS RANCH UTILITY IMPROVEMENTS; LOS ANGELES COUNTY, CALIFORNIA

Dear Mr. Singleton:

PCR Services Corporation (PCR) is preparing environmental documentation at the state and federal level for the proposed Golden Oaks Ranch Project in Los Angeles County, California. Disney is coordinating the development of an approximately 56-acre area parcel which has already been through a Sacred Lands Search. However, the project now includes additional sewer and water improvements. The sewer and water improvements are located along developed and paved roadways and dirt access roads that extend beyond the 56-acre parcel.

As part of this effort, and in compliance with federal, state, and local environmental regulations, we are initiating correspondence and consultation efforts regarding the identification of prehistoric or Native American cultural resources and sacred lands within the utility improvements areas and vicinity.

To ensure that any areas containing previously recorded cultural resources and sacred lands are identified and considered, PCR is requesting an expedited Sacred Lands Search of the utility improvement areas. The utility improvement areas are depicted on the United States Geological Survey (USGS) 7.5' Mint Canyon, San Fernando, Oat Mountain, and Newhall, CA topographic quadrangle maps illustrated (see attached figure). We are also requesting a current Native American contact list to conduct further consultation regarding the identification of prehistoric or Native American resources.

Thank you for your assistance with our efforts to address possible Native American concerns that may be affected by the proposed project. If you have any questions or need additional information, please contact me at (949) 753-7001 or via email at k.garcia@pcrnet.com.

Sincerely,
PCR SERVICES CORPORATION

Kyle Garcia
Senior Archaeologist I

Attachment

STATE OF CALIFORNIA

Arnold Schwarzenegger, Governor

NATIVE AMERICAN HERITAGE COMMISSION

915 CAPITOL MALL, ROOM 364
 SACRAMENTO, CA 95814
 (916) 653-6251
 Fax (916) 657-5390
 Web Site www.nahc.ca.gov
ca_nahc@pacbell.net



July 16, 2010

Mr. Kyle Garcia, Senior Archaeologist I
PCR SERVICES CORPORATION
 233 Wilshire Boulevard, Suite 130
 Santa Monica, CA 90401

Sent by FAX TO: 310-451-4488
 No. of Pages: 3

Re: Request for a Sacred Lands File Search and Native American Contacts List for the proposed "Golden Oaks Ranch Utility Improvement Project," located in the Newhall Area of the Santa Clarita Valley; Los Angeles County, California

Dear Mr. Garcia:

The Native American Heritage Commission (NAHC), the State of California 'Trustee Agency' for the protection and preservation of Native American cultural resources. The NAHC SLF search, did not indicate the presence of Native American cultural resources within one-half mile of the proposed project site (APE). However, there are Native American cultural resources in close proximity to the APE.

Also, this letter includes state and federal statutes relating to Native American historic properties of religious and cultural significance to American Indian tribes and interested Native American individuals as 'consulting parties' under both state and federal law.

The California Environmental Quality Act (CEQA – CA Public Resources Code 21000-21177, amended in 2009) requires that any project that causes a substantial adverse change in the significance of an historical resource, that includes archaeological resources, is a 'significant effect' requiring the preparation of an Environmental Impact Report (EIR) per the CEQA Guidelines defines a significant impact on the environment as 'a substantial, or potentially substantial, adverse change in any of physical conditions within an area affected by the proposed project, including ...objects of historic or aesthetic significance.' In order to comply with this provision, the lead agency is required to assess whether the project will have an adverse impact on these resources within the 'area of potential effect (APE), and if so, to mitigate that effect.

Early consultation with Native American tribes in your area is the best way to avoid unanticipated discoveries once a project is underway. Culturally-affiliated tribes and individuals may have knowledge of the religious and cultural significance of the historic properties in the project area (e.g.APE). We recommend that you contact persons on the attached list of Native American contacts. Furthermore we suggest that you contact the California Historic Resources Information System (CHRIS) at the Office of Historic Preservation Coordinator's office (at 916-653-7272, for referral to the nearest Information Center of which there are 10.

Consultation with tribes and interested Native American consulting parties, on the NAHC list, should be conducted in compliance with the requirements of federal NEPA (42 U.S.C 4321-43351) and Section 106 and 4(f) of federal NHPA (16 U.S.C. 470 *et seq*), 36 CFR Part 800.3 (f) (2), the President's Council on Environmental Quality (CSQ, 42 U.S.C 4371 *et seq.* and NAGPRA (25 U.S.C. 3001-3013) as appropriate. The 1992 *Secretary of the Interiors Standards for the Treatment of Historic Properties* were revised so that they could be applied to all historic resource types included in the National Register of Historic Places and including cultural landscapes.

Also, Public Resources Code Section 5097.98 and Health & Safety Code Section 7050.5 provide for provisions for accidentally discovered archeological resources during construction and mandate the processes to be followed in the event of an accidental discovery of any human remains in a project location other than a 'dedicated cemetery'.

To be effective, consultation on specific projects must be the result of an ongoing relationship between Native American tribes and lead agencies, project proponents and their contractors, in the opinion of the NAHC. Regarding tribal consultation, a relationship built around regular meetings and informal involvement with local tribes will lead to more qualitative consultation tribal input on specific projects.

The response to this search for Native American cultural resources is conducted in the NAHC Sacred Lands Inventory, established by the California Legislature (CA Public Resources Code 5097.94(a) and is exempt from the CA Public Records Act (c.f. California Government Code 6254.10) although Native Americans on the attached contact list may wish to reveal the nature of identified cultural resources/historic properties. Confidentiality of "historic properties of religious and cultural significance" may also be protected under Section 304 of the NHA or at the Secretary of the Interior discretion if not eligible for listing on the National Register of Historic Places. The Secretary may also be advised by the federal Indian Religious Freedom Act (cf. 42 U.S.C., 1996) in issuing a decision on whether or not to disclose items of religious and/or cultural significance identified in or near the APE and possibility threatened by proposed project activity.

If you have any questions about this response to your request, please do not hesitate to contact me at (916) 653-6251.

Sincerely,



Dave Singleton
Program Analyst

Attachment: Native American Contact List

Native American Contacts
July 16, 2010
Los Angeles County

Charles Cooke
32835 Santiago Road
Acton , CA 93510

(661) 733-1812 - cell
suscol@intox.net

Chumash
Fernandeno
Tataviam
Kitanemuk

Kitanemuk & Yowlumne Tejon Indians
Delia Dominguez
981 N. Virginia
Covina , CA 91722 Yowlumne
(626) 339-6785 Kitanemuk

Beverly Salazar Folkes
1931 Shadybrook Drive
Thousand Oaks, CA 91362
805 492-7255
(805) 558-1154 - cell
folkes9@msn.com

Chumash
Tataviam
Fernandefio

San Fernando Band of Mission Indians
John Valenzuela, Chairperson
P.O. Box 221838
Newhall , CA 91322 Fernandefio
tsen2u@hotmail.com Tataviam
(661) 753-9833 Office Serrano
(760) 885-0955 Cell Vanyume
(760) 949-1604 Fax Kitanemuk

Fernandeno Tataviam Band of Mission Indians
William Gonzales, Cultural/Environ Depart/Rudy Ortega
601 South Brand Boulevard, Suite 102 Fernandeno
San Fernando CA 91340 Tataviam
rortega@tataviam-nsn.us
(818) 837-0794 Office

(818) 837-0796 Fax

Randy Guzman - Folkes
655 Los Angeles Avenue, Unit E
Moorpark , CA 93021 Chumash
ndnRandy@yahoo.com Fernandefio
(805) 905-1675 - cell Tataviam
Shoshone Paiute
Yaqui

LA City/County Native American Indian Comm
Ron Andrade, Director
3175 West 6th Street, Rm.
Los Angeles , CA 90020
randrade@css.lacounty.gov
(213) 351-5324
(213) 386-3995 FAX

This list is current only as of the date of this document.

Distribution of this list does not relieve any person of statutory responsibility as defined in Section 7060.5 of the Health and Safety Code, Section 5097.94 of the Public Resources Code and Section 5097.98 of the Public Resources Code. Also, federal National Environmental Policy Act (NEPA), National Historic Preservation Act, Section 108 and federal NAGPRA. And 36 CFR Part 800.3.

This list is only applicable for contacting local Native Americans with regard to cultural resources for the proposed Golden Oaks Ranch Utility Improvements Project, located in the Newhall area of the Santa Clarita Valley, Los Angeles County, California for which a Sacred Lands File search and Native American Contacts list were requested.



July 21, 2010

Ms. Beverly Salazar Folkes
1931 Shadybrook Drive
Thousand Oaks, California 91362

Re: PROPOSED GOLDEN OAK RANCH PROJECT UTILITY IMPROVEMENTS; LOS ANGELES COUNTY, CALIFORNIA

Dear Ms. Folkes:

PCR Services Corporation (PCR) is preparing environmental documentation at the state and federal level for the proposed Golden Oaks Ranch Project in Los Angeles County, California. Disney is coordinating the development of an approximately 56-acre area parcel which you have already provided comments to. However, the project now includes additional sewer and water improvements. The sewer and water improvements are located along developed and paved roadways and dirt access roads that extend beyond the 56-acre parcel.

In order to ensure that any areas containing cultural resources or sacred lands are considered, PCR requests any information you are willing to share regarding Native American resources (including properties, places, or archaeological sites) in the vicinity of the utility improvement areas that may be affected by the proposed project. The utility improvement areas are illustrated on the enclosed map. They are depicted in Sections 1, 6, 19, 25, 30, 31, 36, and unsectioned areas of Townships 3 and 4 North, Ranges 15 and 16 West of the Mint Canyon, San Fernando, Oat Mountain, and Newhall, CA United States Geological Survey (USGS) 7.5' topographic quadrangle maps.

Thank you for your assistance with our efforts to address possible Native American concerns that may be affected by the proposed project. If you have any questions or need additional information, please contact me at (949) 753-7001 or via email at k.garcia@pcrnet.com.

Sincerely,
PCR SERVICES CORPORATION

Kyle Garcia
Senior Archaeologist I

Attachment



July 21, 2010

Mr. William Gonzales
FERNANDEÑO TATAVIAM BAND OF MISSION INDIANS
601 South Brand Blvd., Suite 102
San Fernando, California 91340

Re: PROPOSED GOLDEN OAK RANCH PROJECT UTILITY IMPROVEMENTS; LOS ANGELES COUNTY, CALIFORNIA

Dear Mr. Gonzales:

PCR Services Corporation (PCR) is preparing environmental documentation at the state and federal level for the proposed Golden Oaks Ranch Project in Los Angeles County, California. Disney is coordinating the development of an approximately 56-acre area parcel which you have already provided comments to in a letter dated January 25, 2010. However, the project now includes additional sewer and water improvements. The sewer and water improvements are located along developed and paved roadways and dirt access roads that extend beyond the 56-acre parcel.

In order to ensure that any areas containing cultural resources or sacred lands are considered, PCR requests any information you are willing to share regarding Native American resources (including properties, places, or archaeological sites) in the vicinity of the utility improvement areas that may be affected by the proposed project. The utility improvement areas are illustrated on the enclosed map. They are depicted in Sections 1, 6, 19, 25, 30, 31, 36, and unsectioned areas of Townships 3 and 4 North, Ranges 15 and 16 West of the Mint Canyon, San Fernando, Oat Mountain, and Newhall, CA United States Geological Survey (USGS) 7.5' topographic quadrangle maps.

Thank you for your assistance with our efforts to address possible Native American concerns that may be affected by the proposed project. If you have any questions or need additional information, please contact me at (949) 753-7001 or via email at k.garcia@pcrnet.com.

Sincerely,
PCR SERVICES CORPORATION

Kyle Garcia
Senior Archaeologist I

Attachment



July 21, 2010

Mr. Randy Guzman-Folkes
655 Los Angeles Avenue, Unit E
Moorpark, California 93021

Re: PROPOSED GOLDEN OAK RANCH PROJECT UTILITY IMPROVEMENTS; LOS ANGELES COUNTY, CALIFORNIA

Dear Mr. Guzman-Folkes:

PCR Services Corporation (PCR) is preparing environmental documentation at the state and federal level for the proposed Golden Oaks Ranch Project in Los Angeles County, California. Disney is coordinating the development of an approximately 56-acre area parcel which you have already provided comments to. However, the project now includes additional sewer and water improvements. The sewer and water improvements are located along developed and paved roadways and dirt access roads that extend beyond the 56-acre parcel.

In order to ensure that any areas containing cultural resources or sacred lands are considered, PCR requests any information you are willing to share regarding Native American resources (including properties, places, or archaeological sites) in the vicinity of the utility improvement areas that may be affected by the proposed project. The utility improvement areas are illustrated on the enclosed map. They are depicted in Sections 1, 6, 19, 25, 30, 31, 36, and unsectioned areas of Townships 3 and 4 North, Ranges 15 and 16 West of the Mint Canyon, San Fernando, Oat Mountain, and Newhall, CA United States Geological Survey (USGS) 7.5' topographic quadrangle maps.

Thank you for your assistance with our efforts to address possible Native American concerns that may be affected by the proposed project. If you have any questions or need additional information, please contact me at (949) 753-7001 or via email at k.garcia@pcrnet.com.

Sincerely,
PCR SERVICES CORPORATION

Kyle Garcia
Senior Archaeologist I

Attachment

PCR SANTA MONICA

233 Wilshire Boulevard
Suite 130
Santa Monica, California 90401
TEL 310.451.4488
FAX 310.451.5279
PCRinfo@pcrnet.com

PCR IRVINE

One Venture
Suite 150
Irvine, California 92618
TEL 949.753.7001
FAX 949.753.7002
PCRinfo@pcrnet.com

PCR PASADENA

790 East Colorado Boulevard
Suite 900
Pasadena, California 91101
TEL 626.204.6170
FAX 626.204.6171
PCRinfo@pcrnet.com

Appendix G.3



Supplement to the Archaeological and Paleontological Resources Assessment



STATISTICAL RESEARCH, Inc.

ARCHAEOLOGY • ANTHROPOLOGY • HISTORY • HISTORIC ARCHITECTURE

April 25, 2012

VIA U.S. MAIL

Ms. Ashley Rogers
Principal Planner
Matrix Environmental
6701 Center Drive West, Suite 900
Los Angeles, California 90045

Re: Disney | ABC Studios at The Ranch
Archaeological and Paleontological Resources Assessment

Dear Ms. Rogers,

After the completion of the Supplement to the Phase I Archaeological and Paleontological Resources Assessment, minor modifications to the Project were made that do not affect this technical report. In particular, the Development Area was increased from 56 acres to approximately 58 acres and an associated change to the Development Area boundary was made. In addition, the elevation of the southern portion of the Development Area (i.e., south of Placerita Creek) was increased by approximately five feet to improve circulation through the Development Area. This vertical change was made uniformly across the southern portion of the Development Area. Other minor changes to the design of certain drainage improvements and vehicular access between the Development Area and the eastern portion of the Ranch were also made. Overall, these changes do not affect the prior archaeological and paleontological analyses as the areas added to the Development Area either were generally surveyed during the prior survey or would not be disturbed by the Project. In addition, any relevant mitigation measures would be implemented within the added areas.

While the Supplement to the Phase I Archaeological and Paleontological Resources Assessment may reflect slightly different Project conditions than addressed in the Draft EIR, the modifications do not affect the conclusions in our report, and, with the Project design features and mitigation measures set forth in the Draft EIR, the Project's impacts on the environment would remain less than significant.

Very truly yours,

Scott Kremkau, Ph.D, RPA
Senior Project Director
Statistical Research, Inc.

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cc: Ms. Christina Tran
County of Los Angeles Department of Regional Planning



STATISTICAL RESEARCH, Inc.

ARCHAEOLOGY • ANTHROPOLOGY • HISTORY • HISTORIC ARCHITECTURE

June 27, 2011

Ms. Stephanie Eyestone-Jones
Matrix Environmental
6701 Center Drive, Suite 900
Los Angeles, CA 90045

Subject: Disney | ABC Studios at The Ranch, Supplement to Phase I Archaeological Resource Assessment

Dear Ms. Eyestone-Jones,

An archaeological reconnaissance survey was undertaken by Statistical Research, Inc. (SRI) at a proposed development, Disney | ABC Studios at the Ranch, to be located on Golden Oak Ranch (the Ranch). The proposed development is located near Santa Clarita, in an unincorporated portion of Los Angeles County, California. The project area is located within the Mint Canyon, San Fernando, Oat Mountain, and Newhall, CA 7.5 minute USGS quadrangle maps.

The survey was performed as a follow-up to the cultural resources record search and archaeological reconnaissance survey undertaken by PCR Services Corporation (PCR) between April 2008 and June 2010 and detailed in an August 2010 report (Gonzalez and Garcia 2010). The project area includes an approximately 56 acre Development Area at the western side of the Ranch and a Water Tank Area and access road south of Placerita Canyon Road that were originally surveyed by PCR in 2010, as well as two Conditional Parking Areas and two Proposed Mobile Home Relocation Areas, which are new additions to the proposed project site (Figure 1). This letter report presents SRI's methods and field results, followed by our recommendations for further work at the project site.

Survey Methods

An archaeological reconnaissance survey of the project site was conducted by SRI on June 15, 2010. Although a portion of the project site had been previously surveyed, SRI archaeologists surveyed the entire project site to ensure continuity in the methods used throughout the project site. The crew consisted of Project Director Scott Kremkau and Archaeological Technician Mathew Hyland. The crew walked in straight line transects at 15 meter intervals across the survey area. The progress of the survey was monitored using Trimble GEO XH GPS units and high-resolution aerial photographs. The locations of survey areas, sites and other landscape features were recorded with a GPS unit. Site recording was conducted in accordance with the Instructions for Recording Historical Resources (Office of Historic Preservation, March 1995).

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Survey Results

Development Area

With the exception of two fill pads at the west end of the Development Area, which cover approximately 23.6 acres, SRI resurveyed the entire Development Area. The Water Tank Area and access road, located to the south of the Development Area, were also surveyed. Surface visibility in the Development Area was generally poor (between 0% and 25% of the ground surface visible), with extensive vegetation obscuring the ground. Visibility at the Water Tank Area and access road was better, with 75% to 100% of the ground surface visible.

SRI did not find any prehistoric cultural resources at the Development Area and the Water Tank Area. SRI located the remains of an oil well pad located at the Water Tank Area, site SRI-18 (Figure 2). Based on aerial photo analysis, the well was built sometime between 1952 and 1969, making the site a potential historical resource. The remains include two concrete platforms, a pit covered with wooden boards, and pipes associated with the well. The well is one of several that are found on the hillsides around the Development Area. The site was recorded by SRI and a site record will be prepared and submitted to the South Central Coastal Information Center. Based on our analysis, the site is not eligible for listing in the National Register of Historic Places (NRHP) and California Register of Historic Resources (CRHR).

The Jauregui Ranch House, built circa 1920, was also identified during the survey. The house is located in proposed Lot 13, near the southern bank of Placerita Creek. This site was evaluated previously and found to be not eligible for listing in the NRHP and CRHR (Wuellner, et al. 2010: 38).

Conditional Parking Areas

The Conditional Parking Areas would be paved and striped if the Los Angeles Department of Water and Power (LADWP) were to revoke the parking license agreement that would allow parking for approximately 560 vehicles within the LADWP transmission corridor, which runs in a generally northwest to southeast direction just east of the Development Area. As indicated in Figure 1, Conditional Parking Area 1 lies east of Pine Lake, a man-made set east of the current main entrance road, and Conditional Parking Area 2 lies north of Pine Lake and just east of the LADWP transmission corridor.

Conditional Parking Area 1 is a graded and compressed earth lot that is currently being used as a parking lot and staging area. A large tent structure on a concrete pad occupies the center of the lot. Conditional Parking Area 2 is currently used intermittently for agriculture. It is located just east of the main Development Area and south of Placerita Creek. An elevated earthen access road cuts through the proposed lot. No archaeological resources were identified by SRI during the survey of the Conditional Parking Areas. However, vegetation cover at Conditional Parking Area 2 was thick, making it difficult to spot any cultural resources on the ground surface (0-25% of the ground surface was visible).

Potential Mobile Home Relocation Areas

Two locations have been identified as Potential Mobile Home Relocation Areas. As indicated on Figure 1, the first potential relocation area lies just south of the existing Ranch office and the second lies east of the Ranch office. Both areas have been used for ranching and farming. No cultural resources were identified at either area location during SRI's survey. However, vegetation cover at both locations was thick, making it difficult to spot any cultural resources on the ground surface (0-25% of the ground surface was visible).

Buried Site Potential in the Project Area

Native soils are still present within much of the floodplain along Placerita Creek, including approximately 20 acres of land, occupying the southeastern third of the Development Area (some or all of Lots 4, 5, 6, 7, 8, 9, 11, 12, 13, 19, and 20). SRI cleaned three exposed soil profiles along Placerita Creek, within the Development Area (see Figure 2). Intact native soils were found at two of the profiles. The third profile contains a mix of native soils and run off from the nearby southern fill pad. Additional exposed cuts in other portions of the Development Area show that similar soils extend throughout much of the floodplain. The soils along the floodplain are approximately 1 to 1.5 m thick, and overlay a cobble and gravel deposit.

Although no cultural material was identified during the survey, the floodplain area has some potential for buried site deposits. A previously recorded prehistoric site, CA-LAN-446, has been identified approximately 1 mile upstream from the Ranch, eroding from the bank of Placerita Creek. The Ranch is located in a similar setting, and the floodplain around Placerita Creek could have been utilized by prehistoric groups.

Potential Disturbances in the Project Area

SRI reviewed grading plans, geotechnical reports, and other information to assess potential ground disturbances that would result from the proposed development. Current grading plans indicate that the two fill pads at the western end of the Development Area would be lowered approximately 20 feet and the fill would be added to the southeastern portion of the Development Area. The resulting new, larger platform would be at an elevation of approximately 1441 feet above MSL. With the exception of the extreme southeastern corner, most of the floodplain within the Development Area is below 1441 feet above MSL and thus should only see minor impacts from the addition of fill. However, geotechnical analyses of the project area by URS (2011:25), recommends that up to five feet of soil be removed and replaced as engineered fill before additional fill is added. Based on these recommendations, the entire southeastern portion of the Development Area would be disturbed by construction activities, including some or all of Lots 4, 5, 6, 7, 8, 9, 11, 12, 13, 19, and 20. Similarly, water and sewer line installation would require excavations of up to 12 feet below current grade at several areas within the Development Area.

The pad for the Water Tank Area is anticipated to be less than 5 feet deep. This would significantly impact site SRI-18 if the construction takes place at its currently planned location. However, the site is not eligible for listing in the NRHP and CRHR, and has been documented and requires no further consideration.

To provide for stable slopes and to address existing erosion of the slopes, the banks of Placerita Creek within the Development Area would be graded, stabilized with slope armor, and replanted with native plant species. This slope stabilization would occur from the base of the creek to the top of the slopes along the entire portion of the creek within the Development Area (i.e., between the culvert under SR-14 and the eastern boundary of the Development Area). Additionally, a 15-foot wide slope stabilization access road paved with soil cement and designed for County use for maintenance purposes would be introduced at the top of the slopes of the creek. During the construction phase of the project, a 20-foot wide temporary access road would be built across Placerita Creek. The temporary access road and associated creek crossing would be removed and ultimately replaced with a permanent bridge, and the creek would be restored after the completion of construction. A survey of Placerita Creek found exposed embankments indicating that native soils are located along the length of the creek. The proposed creek improvements would disturb these native soils.

The Conditional Parking Areas are also located within the floodplain along Placerita Creek. Current plans call for the installation of lighting within the parking areas. Any mechanical grading and excavation for light posts and electrical lines in these areas would disturb native soils. Similarly, the Potential Mobile Home Relocation Area located south of the current Ranch offices is located on the southern margin of the floodplain. The installation of the proposed septic tank and associated with plumbing to the mobile home would disturb the soils in the area.

Management Recommendations

Based on the results of the archaeological survey and analysis of potential ground disturbances, SRI has developed several recommendations for further work within the project site.

- Based on the results of SRI's survey, there is potential for buried archaeological sites along the Placerita Creek floodplain. SRI recommends two options for determining the presence or absence of buried archaeological sites in this area. In Option 1, selected areas within some or all of Lots 4, 5, 6, 7, 8, 9, 11, 12, 13, 19, and 20 would be systematically trenched by qualified archaeologists and geoarchaeologists prior to development to search the area for buried archaeological sites. If no archaeological sites were found during trenching, no further archaeological work would be necessary. In Option 2, qualified archaeologists would monitor the area during stripping and other earthmoving activities within native soils. If an archaeological site is discovered during monitoring, activities, construction activity in that part of the Development Area would be halted until the site could be studied by qualified archaeologists.
- A qualified archaeologist should monitor the grading and excavations for light poles and electrical conduits at the two Conditional Parking Areas.
- A qualified archaeologist should monitor the grading and septic tank excavation at the Potential Mobile Home Relocation Areas.

If these recommendations are approved, SRI will develop a scope of work and cost estimates for trenching and monitoring. Any trenching and monitoring would be followed by a letter report detailing our findings and recommendations. If you have any questions, feel free to call me at our Redlands office (909)-335-1896.

Sincerely,

A handwritten signature in black ink, appearing to read "Scott Kremkau". The signature is fluid and cursive, with a long horizontal stroke at the end.

Scott Kremkau, Ph.D. RPA
Senior Project Director

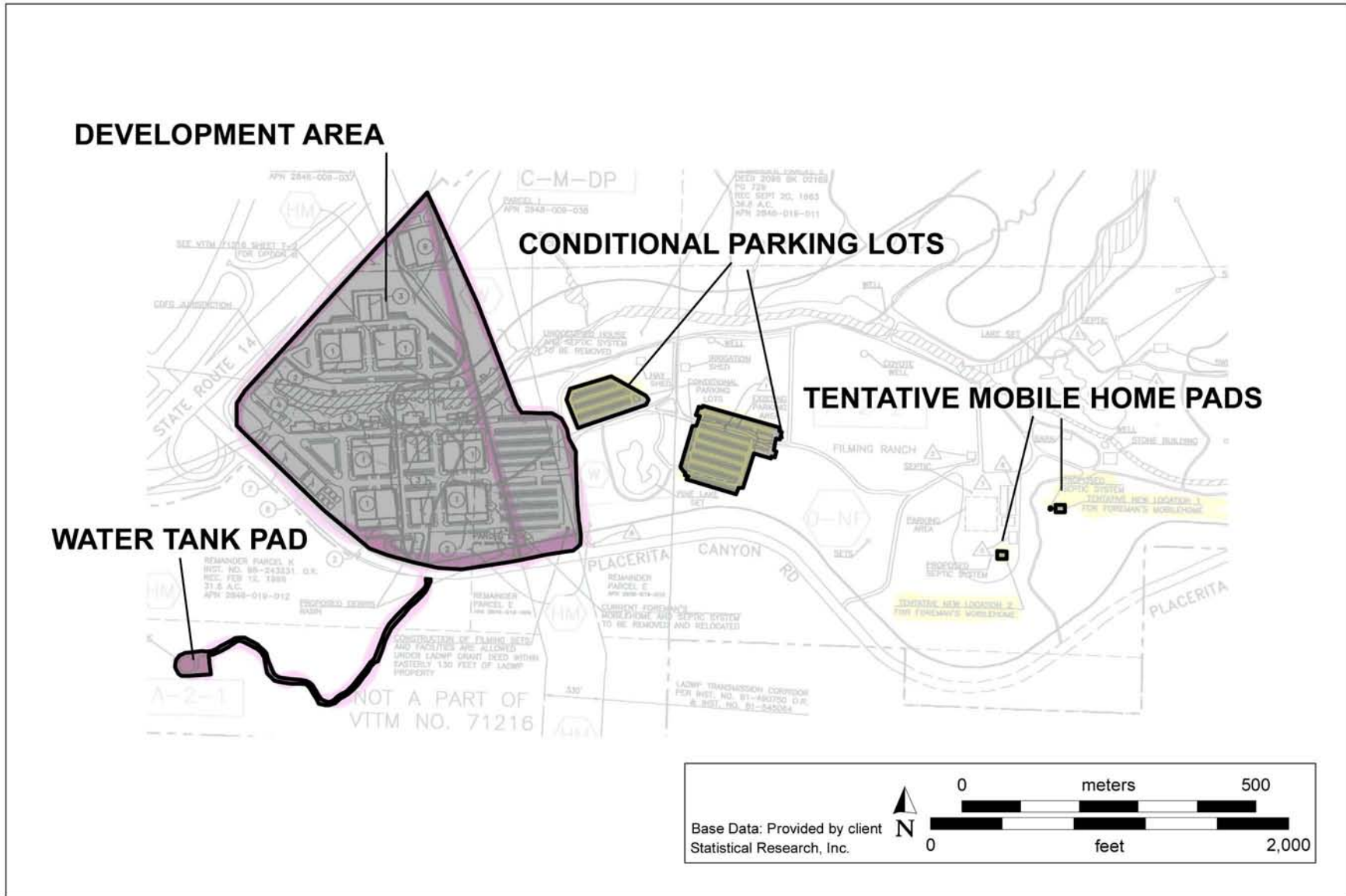


Figure 1. Area surveyed by SRI at Golden Oak Ranch

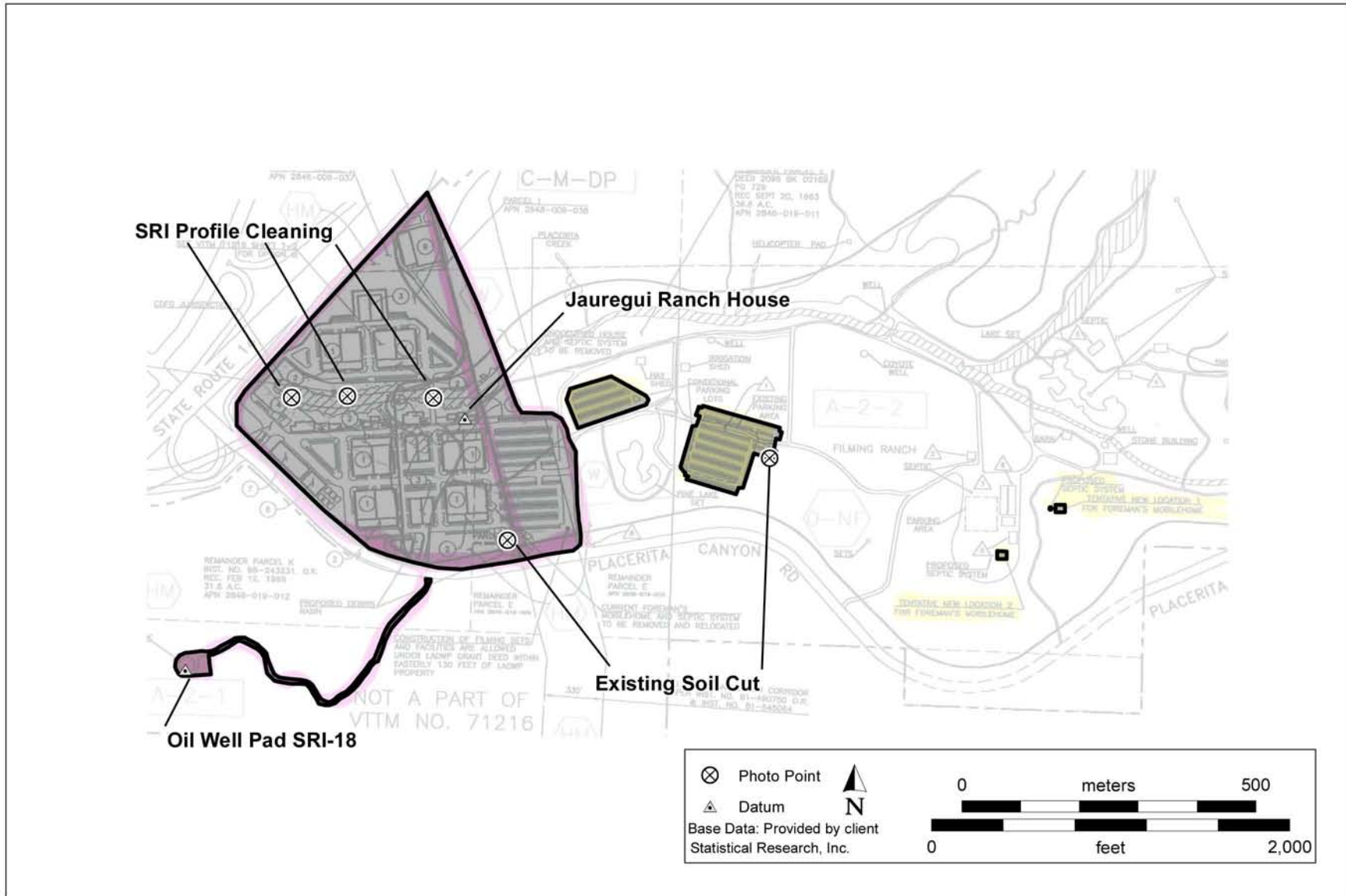


Figure 2. Results from SRI's survey at Golden Oak Ranch

References

Gonzales, Matthew and Kyle Garcia

2010 *Phase I Archaeological and Paleontological Resources Assessment for Disney | ABC Studios at the Ranch, Los Angeles County, California*. PCR Services Corporation, Irvine, California.

Office of Historic Preservation (OHP)

1995 *Instructions for Recording Historical Resources*. California Office of Historic Preservation, Sacramento, California.

URS

2011 *Preliminary Geotechnical Investigation, Vesting Tentative Tract Map No. 71216, Golden Oak Ranch, 19802 Placerita Canyon Road, Newhall, California 91321*. URS Corporation, Los Angeles CA.

Wuellner, Margarita, Jon Wilson, and Amanda Kainer

2010 *Historic Resources Assessment and Potential Impacts Analysis for Disney | ABC Studios at the Ranch, Golden Oak Ranch, 19802 Placerita Canyon Road, Los Angeles County California*. PCR Services Corporation, Santa Monica, California.

Appendix H.1

Design Guidelines



April 25, 2012

VIA U.S. MAIL

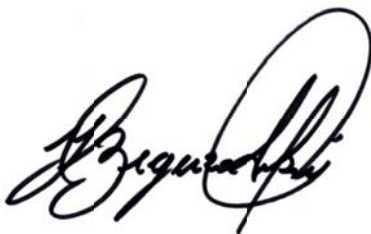
Ms. Ashley Rogers
Principal Planner
Matrix Environmental
6701 Center Drive West, Suite 900
Los Angeles, California 90045

Re: Disney | ABC Studios at The Ranch
Design Guidelines

Dear Ms. Rogers,

After the completion of the Design Guidelines, minor modifications to the Project were made that are not reflected in this document. In particular, the Development Area was increased from 56 acres to approximately 58 acres and an associated change to the Development Area boundary was made. In addition, the elevation of the southern portion of the Development Area (i.e., south of Placerita Creek) was increased by approximately five feet to improve circulation through the Development Area. This vertical change was made uniformly across the southern portion of the Development Area, and accordingly vehicular access between the Development Area and the eastern portion of the Ranch was adjusted. Other minor changes to the design of certain drainage improvements were made that are not relevant to the Design Guidelines. Overall, these changes do not affect the intent of the Design Guidelines, which are conceptual in nature and intended to guide the final Project designs. Further, all plans from the Design Guidelines that are used in the Draft EIR have been updated therein.

Very truly yours,

A handwritten signature in black ink, appearing to read "Juan Carlos Begazo". The signature is fluid and cursive, with a large loop at the end.

Juan Carlos Begazo AIA
Principal

cc: Ms. Christina Tran
County of Los Angeles Department of Regional Planning



at The Ranch

Design Guidelines

2011

J O H N S O N F A I N O L I N Wylie Carter Architects **L I G H T V I S I O N**

Design Guidelines

2011



DESIGN GUIDELINES

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Disney | ABC Studios at The Ranch will be an environmentally sensitive project that enhances and enriches the history and beauty of Golden Oak Ranch and Placerita Canyon.



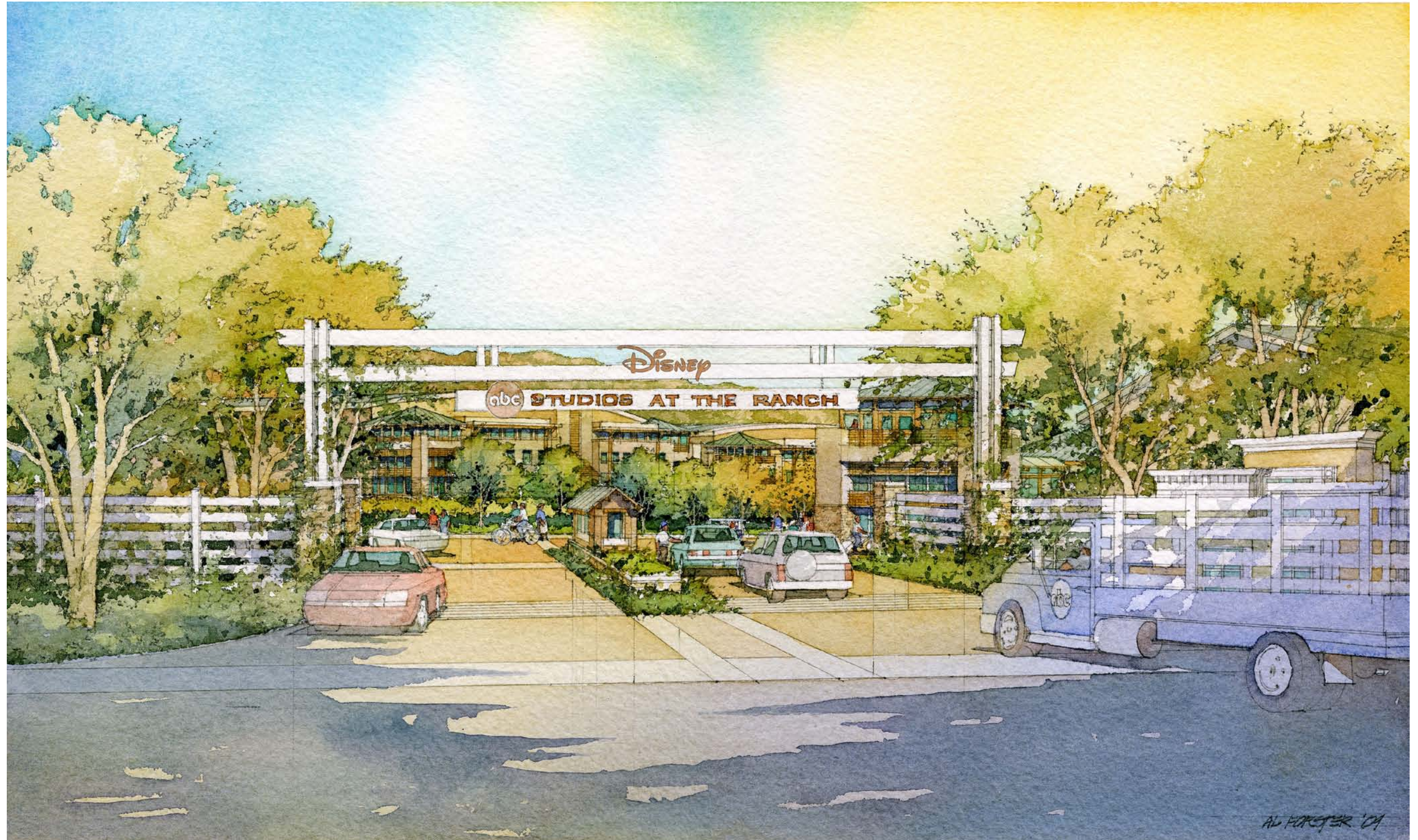
The new studio site incorporates two, mostly barren fill pads left from construction of State Route 14.

Introduction

The site for Disney | ABC Studios at The Ranch preserves the natural setting of Golden Oak Ranch and Placerita Canyon by locating the studio with its soundstages on 56 acres in the westernmost portion of the 890-acre Ranch, directly adjacent to State Route 14. A substantial portion of the project is located on two large, mostly barren parcels of land created by Caltrans during the construction of State Route 14.

The rustic setting, sweeping vistas and ability to build large-scale sets have made Golden Oak Ranch an important location for outdoor film, television and commercial productions for the past 50 years. Disney | ABC Studios at The Ranch will transform less than 10% of Golden Oak Ranch into state-of-the-art soundstages and associated production support facilities.

Disney | ABC Studios at The Ranch will combine in one location the advantages of a large movie ranch for outdoor filming with the control and efficiencies of indoor soundstages. This synergy will provide countless options for the entertainment industry and reduce the need for actors, crews and equipment to travel throughout the Los Angeles region every time production changes from indoor to outdoor sets.



Proposed main entry view

Site Planning

Through extensive site analysis and development of a Master Plan for this new state-of-the-art studio, it became clear that the natural attributes of Golden Oak Ranch – the surrounding hills, the valley floor and meadows, the creek that runs through it, and the oak groves that frame the valley floor – are its best assets, and ones that should be preserved to the extent possible as the character-giving elements for the project. Disney | ABC Studios at The Ranch will blend with its surroundings, using “light feet” on the land in which a flexible, functional and sustainable production campus is carefully placed into the natural setting.

Guidelines:

- The new studio will be limited to less than 10% of the Ranch. Approximately 195 acres of the Ranch used for outdoor filming operations and 639 acres of the surrounding hillsides on the Ranch used as a filming backdrop will be retained and protected.
- The new studio will complement the rural and agricultural setting of the Ranch and surrounding area.
- Native, drought-tolerant landscaping will be located along streets, entries and throughout the new studio to complement and enhance the existing natural setting.

Legend

Building Number	Use
1-12	Soundstages
13	Warehouse
14	Central Utility Plant and Associated Exterior Equipment
15-16	Administration
17, 26	Writers/Producers Bungalows
18, 19, 22, 27, 30, 31	Production Offices
20, 21, 23, 24, 32, 33	Mills
25	Commissary
29	Electrical Substation



Site Plan: Disney | ABC Studios at The Ranch will include twelve state-of-the-art soundstages with additional support facilities.

Site Planning Continued...

- Disney | ABC Studios at The Ranch will respect, restore and improve its main natural feature on the site, Placerita Creek.
- To the extent possible, the location of new structures will be located to maximize and maintain views of Placerita Canyon, including Placerita Creek.
- To the extent possible, visibility of the project from adjacent properties as well as the existing outdoor filming areas within the Ranch will be minimized.

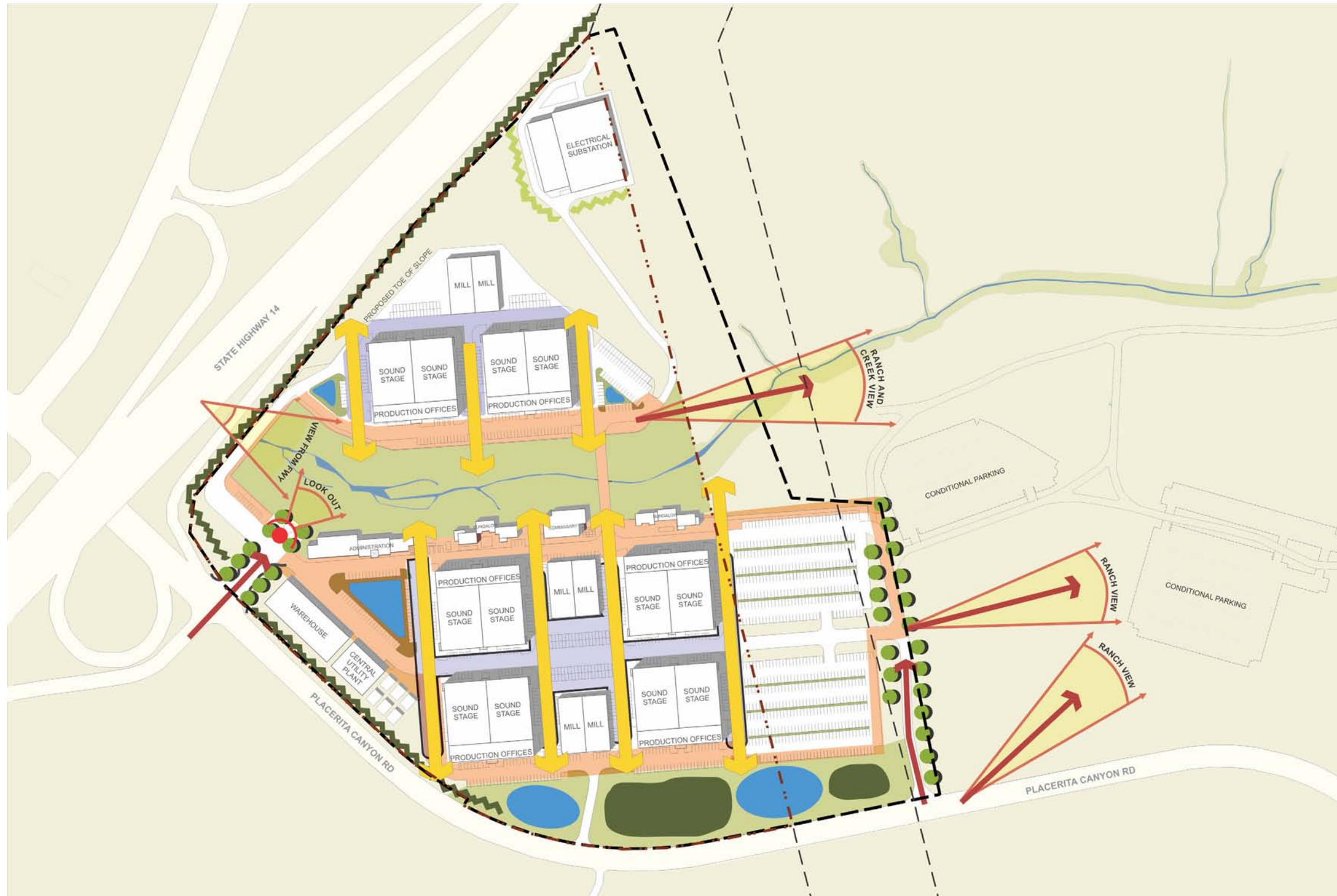


Option Build Out: Depending on market conditions and demand, the project could include eight soundstages and up to 100,000 square feet of studio office space.












Legend

Building Number	Use
1-8	Soundstages
13	Warehouse
14	Central Utility Plant and Associated Exterior Equipment
15-16	Administration
17, 26	Writers/Producers Bungalows
18, 19, 22, 27	Production Offices
20, 21, 23, 24	Mills
25	Commissary
28	Studio Offices
29	Electrical Substation

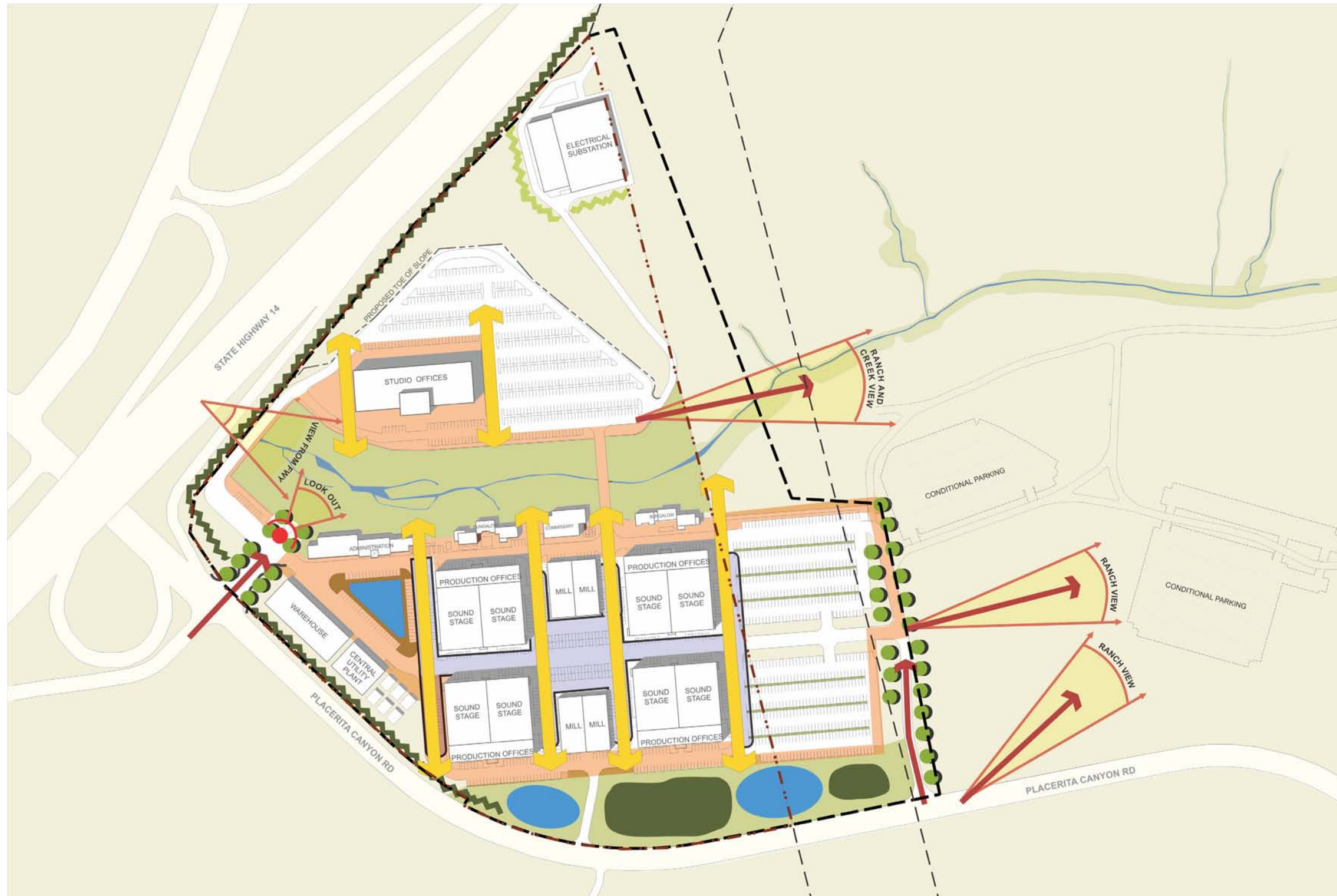
Urban Design Principles














Legend

-  Production Zone
-  Pedestrian Friendly Zone
-  View Corridors Green to Green
-  Landmark/ Focal Point
-  Views
-  Screening Landscaped Berm
-  Screening Landscape
-  Existing & Enhanced Natural Features
-  Existing Oak Woodlands
-  Entry Gateways
-  Bioponds / Debris Basins

Urban Design Principles - Option Build Out



Legend

-  Production Zone
-  Pedestrian Friendly Zone
-  View Corridors Green to Green
-  Landmark/ Focal Point
-  Views
-  Screening Landscaped Berm
-  Screening Landscape
-  Existing & Enhanced Natural Features
-  Existing Oak Woodlands
-  Entry Gateways
-  Bioponds / Debris Basins



Plaza View

SOUNDSTAGES & MILLS



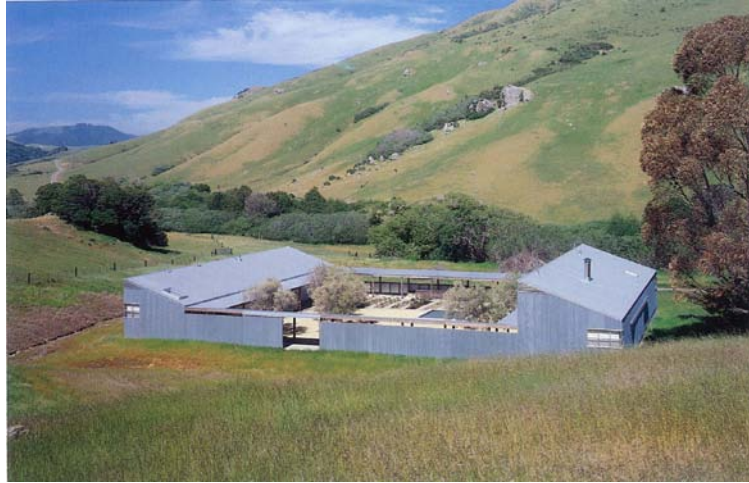
Building Design

Building design at the studio will pay homage to the site's ranching and farming past. The aesthetic of the rural film studio, similar to that of a rural "working" farm, grows organically from its focus on function and efficiency while minimizing waste.

Guidelines:

- Buildings will be simple structures that take their cues from large agrarian buildings, and complement the rural setting while including the modern features of a state-of-the-art studio.
- To the extent possible, or as appropriate, the physical mass of buildings will not be a single continuous form, but instead will be broken down into multiple, smaller, connected components.
- Where appropriate, Disney | ABC Studios at The Ranch will use architectural devices, such as balconies, porches, terraces, loggias, verandas and courtyards, to articulate building facades and aid in the gradual transition from buildings to landscape.
- Studio buildings will implement green building design and construction practices to achieve Leadership in Energy and Environmental Design (LEED™) certification or LEED™ Silver certification.
- To the extent possible, buildings will reduce energy use by exploring sustainable design features, such as green walls, solar panels, and cool roofs.
- To the extent possible, Disney | ABC Studios at The Ranch will use demountable fabric canopies and horizontal awnings suspended on cables and stretched between the sound-stages and mills to shade the pavement areas between the structures, fostering a pedestrian-friendly environment and reducing the heat island effect.
- Buildings will use colors that complement the predominant hues on the Ranch, such as earth tones of brown, green, and gold.
- Building facades may incorporate wood, brick, stucco, metal panels, concrete and glass.

OFFICES, COMMISSARY & BUNGALOWS



WAREHOUSE & CENTRAL UTILITY PLANT

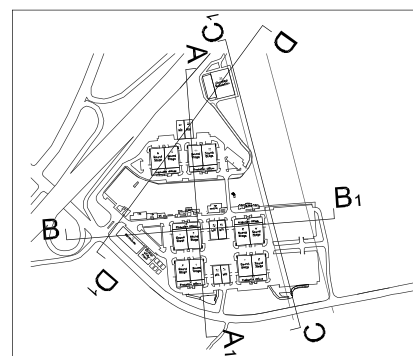
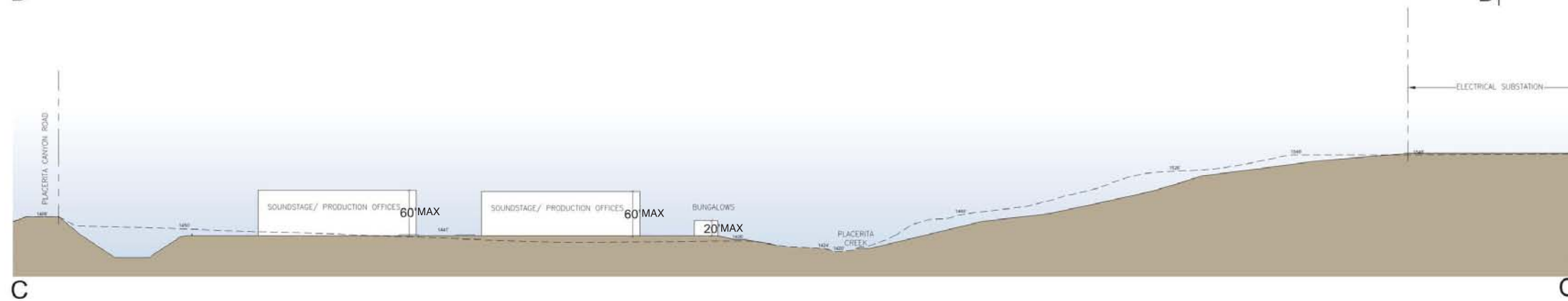
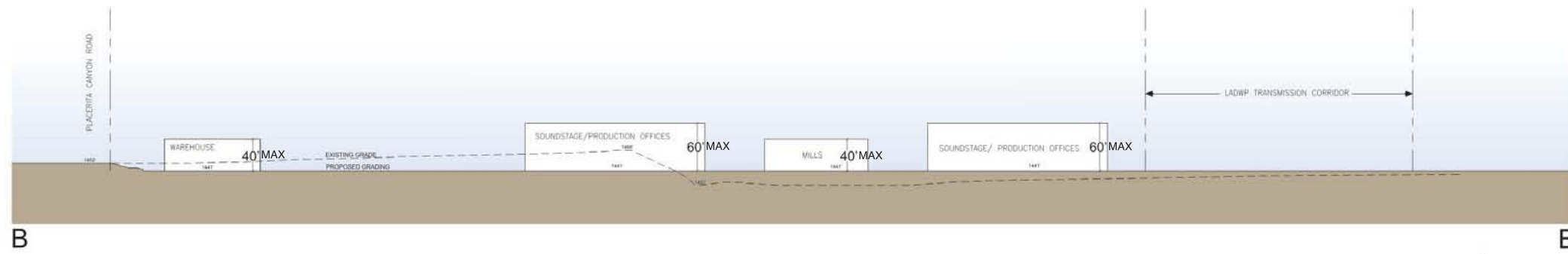
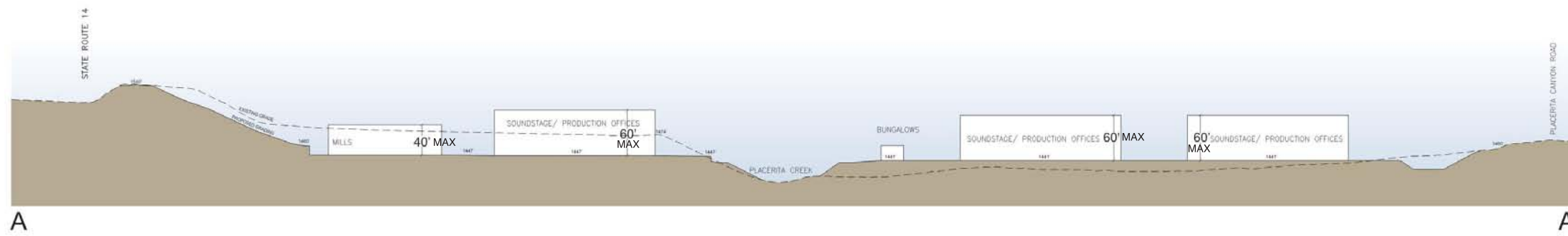


Building Heights

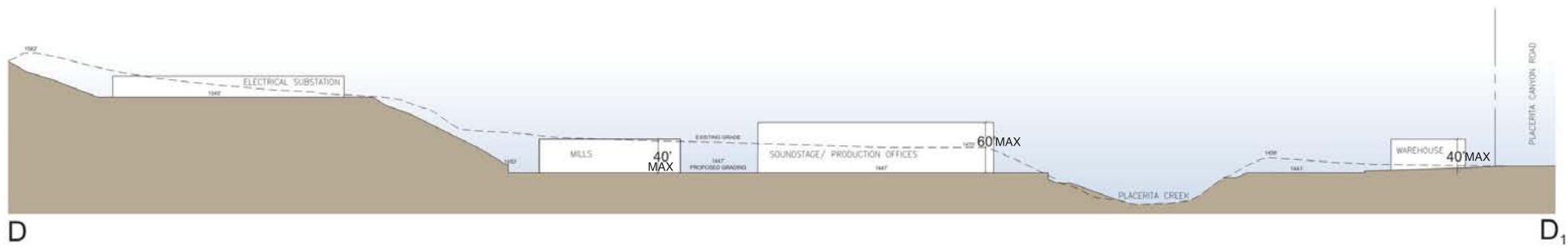
To preserve the rural character of Golden Oak Ranch and Placerita Canyon, new buildings will blend and harmonize with the surrounding landscape. To minimize the visual impact of buildings and to ensure the buildings are subordinate to the landscape, building height transitions will be considered in order to provide visually pleasing public frontages.

Guidelines:

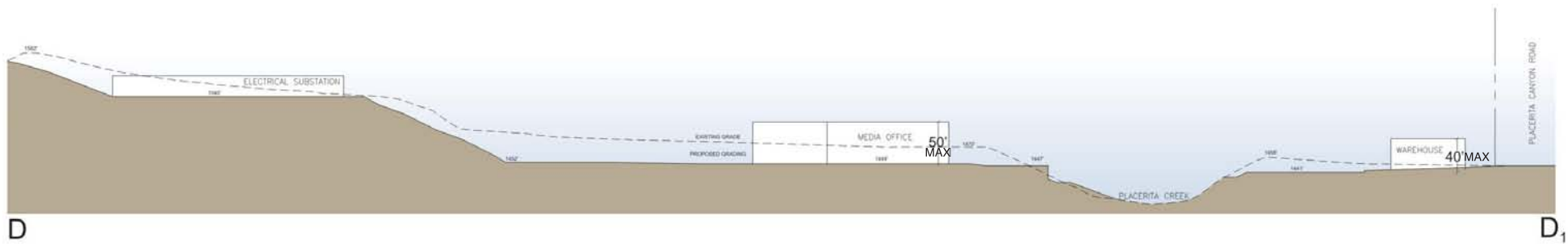
- With the exception of the soundstages and mills, Disney | ABC Studios at The Ranch will avoid large unbroken facades and roof areas, staggering building mass and rooflines to enhance articulation and provide height transitions.
- Consistent roof forms for soundstages and mills will be used to soften mass and establish continuity of form across the site.
- The production offices will be well articulated and placed at strategic locations in relation to the soundstages to establish a pedestrian-friendly scale, creating the necessary height transition between the soundstages and pedestrians.
- In general, the finished floor elevations of buildings will be held close to the adjacent pad grades in order to minimize building heights.
- The project will incorporate sloped roofs as an architectural treatment to reduce the apparent height of buildings. The soundstages will feature rounded roofs to complement the curves of the surrounding hillsides and mountains.
- Flat roofs can be used if they are part of an integrated massing composition that includes sloped roof areas.
- The use of roof mounted equipment will be minimized to the extent possible. If used, such equipment will be carefully placed to minimize additional height, typically on shorter buildings, and will be screened from public view.



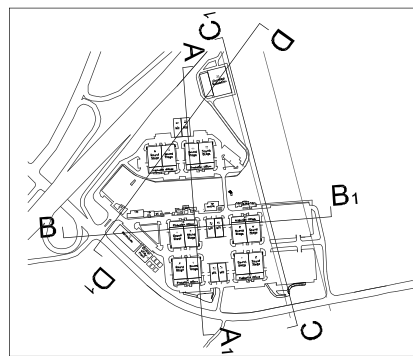
SITE PLAN KEYMAP



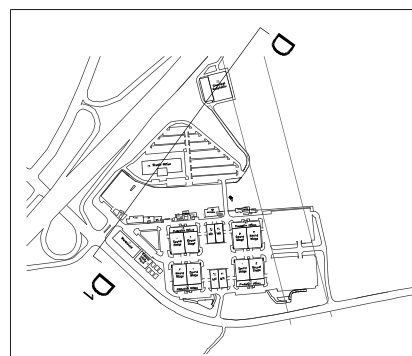
D
SITE PLAN ELEVATION/SECTION



D
OPTION BUILD OUT ELEVATION/SECTION



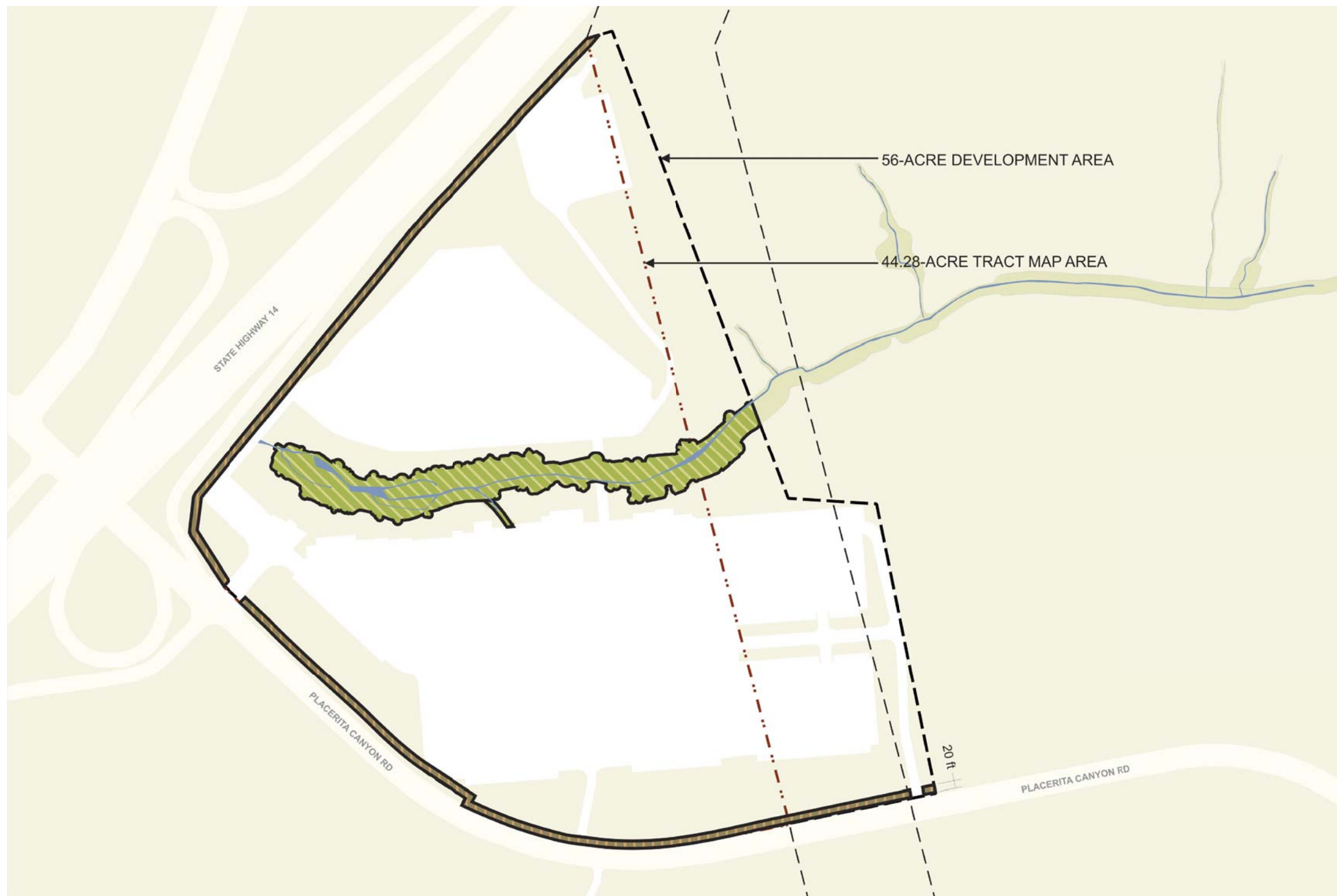
SITE PLAN KEYMAP



SITE PLAN - OPTION BUILD OUT KEYMAP



Placerita Creek View



Setbacks

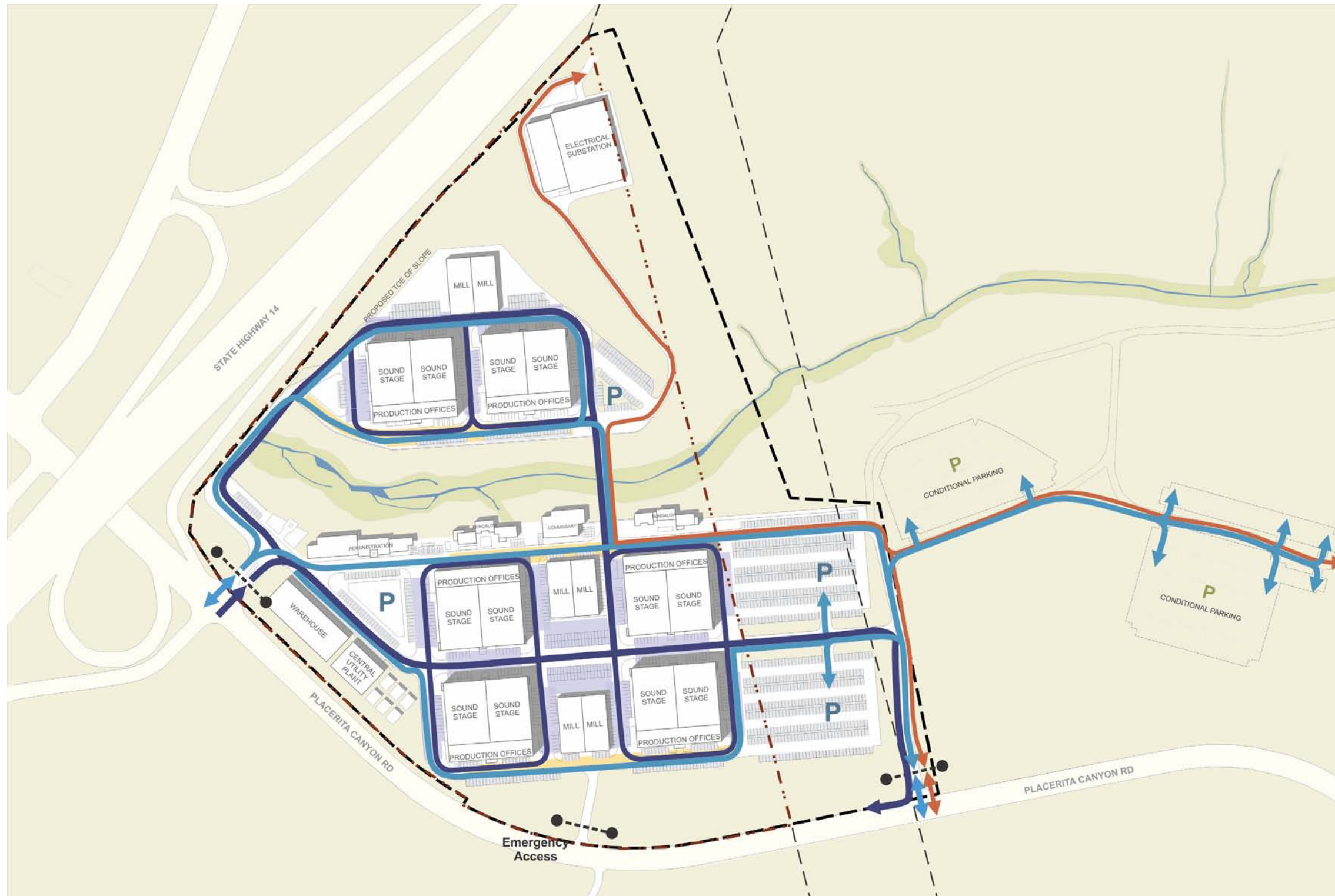
The public edges of the studio will be along State Route 14 and Placerita Canyon Road. Consistent with the ranch concept, these edges will include landscaped setback areas that are intended to blend the new studio into its surroundings as well as provide screening of certain functions, such as parking lots, from public view. The studio will respect, restore and improve the existing riparian corridor within Placerita Creek by stabilizing and then restoring the slopes along the creek with native upland and riparian vegetation.

Guidelines:

- Building setbacks along the public street rights-of-way will be a minimum of 20 feet.
- Landscape setbacks will include earthen berms with a variety of native, drought-tolerant trees and shrubs that will require little irrigation once established.
- Where possible, setbacks will incorporate existing trees, such as an area of mature coastal live oaks along Placerita Canyon Road, as part of the landscape treatment at the site.
- In addition to activities to enhance and restore the riparian corridor, minimum building setbacks of 5 feet from the top of the slopes along Placerita Creek will serve to provide a beautiful foreground to the views of the valley floor and the steep canyon hills beyond.
- Retaining walls outside the CDFG boundary should use materials and color that will blend with the existing vegetation.
- Landscape walls will be introduced above and parallel to Placerita Creek and may consist of gabions filled with local rock.

Legend

-  Current CDFG Jurisdiction
-  Building Setback From Public Right-Of-Way



Site Circulation

Consistent with the concept of a “working” farm, the circulation systems on the site should focus on function and efficiency. Disney | ABC Studios at The Ranch will implement a clear network of roads and driveways to establish, to the extent possible, clear zones of circulation for trucks, automobiles, and pedestrians.

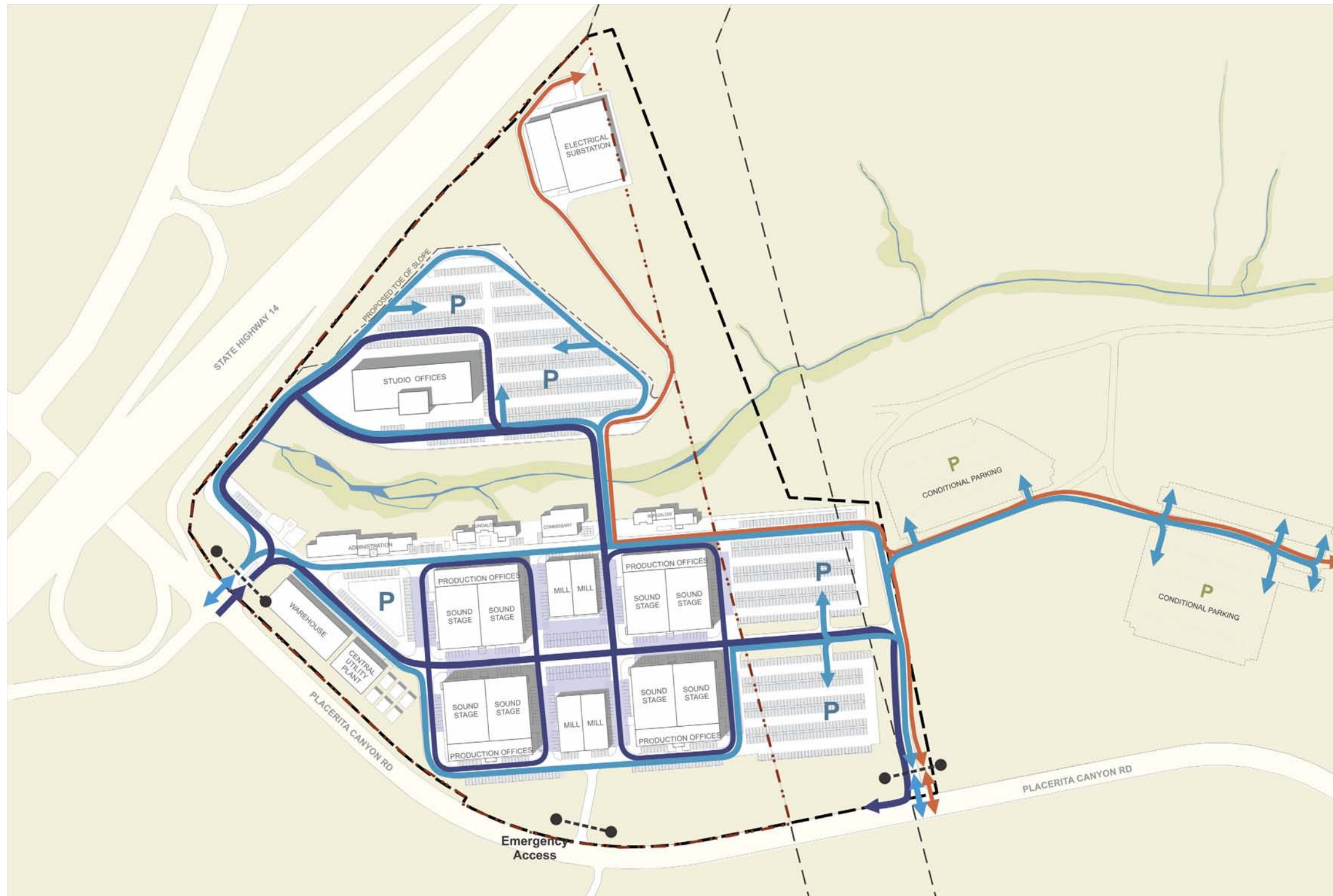
Guidelines:

- Disney | ABC Studios at The Ranch will modify the northbound off-ramp from State Route 14 to allow direct access to the studio and minimize traffic impacts on surrounding roads.
- The circulation improvements will provide sufficient on-site queuing capacity at the main entry and implement an efficient access protocol to prevent the queuing of trucks and automobiles onto Placerita Canyon Road.
- Disney | ABC Studios at The Ranch will create a synergistic use of indoor and outdoor production facilities to reduce vehicular trips and traffic impacts throughout the region.
- Pedestrian and bicycle pathways will be introduced throughout the studio to reduce unnecessary vehicular travel within the site and promote non-motorized circulation.

Legend

- - - - ● Access Point
- Trucks Circulation
- Trucks/ Equipment Parking
- Cars Circulation
- Service Roads
- P Surface Parking
- P Permeable Surface/ Conditional Parking

Site Circulation - Option Build Out



Legend

- - - - ● Access Point
- ▬ Trucks Circulation
- ▬ Trucks/ Equipment Parking
- ▬ Cars Circulation
- ▬ Service Roads
- P Surface Parking
- P Permeable Surface/ Conditional Parking



Restored Riparian Corridor



Country Lane



Screening Berm with Native Plants



Grassy Herbaceous Drainage Swales

-  Oak Woodlands
-  Restored Native Vegetation
-  Restored Riparian Vegetation
-  Restored Cut and Fill Slopes
-  Grassy Herbaceous Drainage Swales
-  Screening Berm with Native Plants
-  Bioretention
-  Entry Allée
-  Country Lane
-  Bioretention Grove



Revegetated Cut and Fill Slopes



Drought Tolerant Plantings

Landscape

One of the fundamental goals guiding development of Disney | ABC Studios at The Ranch is to provide ongoing stewardship of the history and natural beauty of the Ranch, in which the existing golden rolling hills, stands of trees, green meadows, and meandering creek will become integral elements of the new studio. The landscape concept was derived from the agricultural setting of the Ranch and maintains “light feet” on the land.

Guidelines:

- The landscape concept will use native and drought-tolerant plants and trees to minimize water usage.
- Planted areas will include the use of bio-swales and vegetated retention ponds to reduce and treat stormwater runoff.
- To the extent possible, existing areas of coastal live oaks and other native trees will be incorporated in the overall landscape concept. These preserved areas of trees will be enhanced with additional native plantings compatible with, and complementary to, the native oaks. Disney | ABC Studios at The Ranch will implement an oak tree mitigation and monitoring plan that will plant over 1,500 new coastal live oaks throughout Golden Oak Ranch.
- The edges of the main entry drives will be lined with native shade trees inspired by tree-lined country lanes, except where prohibited below the existing LADWP transmission corridor.
- Earthen berms planted with trees, shrubs, and groundcover will be introduced along Placerita Canyon Road and State Route 14 in order to preserve the existing visual character of the area and create a visual and physical barrier between the studio and adjacent roadways.
- To the extent possible, within the LADWP transmission corridor, between the southern main parking lot and Placerita Canyon Road, landscaping, including native, drought-tolerant shrubs and groundcover, will be used to reduce light visibility and spillover onto Placerita Canyon Road.



Restored Riparian Corridor



Country Lane



Screening Berm with Native Plants

Landscape Continued...

- Disney | ABC Studios at The Ranch will include an extensive habitat restoration plan within Placerita Creek designed to restore, revegetate, and enhance the natural environment with native and riparian plant species.
- The Media Office parking lot in the Option Build Out will be designed in a way that complements the ranch-like setting by introducing trees and landscaping to create orchard grove planting patterns.
- Disney | ABC Studios at The Ranch will use colored gravel as a binder course (“chip and seal”) for asphalt in order to make the paved areas more visually compatible with the color of the native landscape rocks. Pervious pavement may also be used in certain areas to preserve the natural look and hydrology of the site.
- The conditional parking areas, if needed, will use permeable pavement surrounded by bioswales and include native, drought-tolerant landscaping to reduce light visibility and spillover onto other areas of the Ranch and maintain the rural character of the Ranch.

***Option Build Out**

- Oak Woodlands
- Restored Native Vegetation
- Restored Riparian Vegetation
- Restored Cut and Fill Slopes
- Grassy Herbaceous Drainage Swales
- Screening Berm with Native Plants
- Bioretention
- Entry Allée
- Country Lane
- Bioretention Grove
- Parking Orchard



Revegetated Cut and Fill Slopes



Drought Tolerant Plantings



Grassy Herbaceous Drainage Swales



Orchards



Workplace View

EXHIBIT A - LIGHT LEVEL ZONES



Lighting

Lighting should be layered and have areas of interest and drama. It should provide safety and direction, and allow flexibility for various activities. The site should be a comfortable and dynamic environment for employees and visitors. Light levels should be specific to the various outdoor functions at Disney | ABC Studios at The Ranch, which will include loading and unloading trucks, assembling of sets, walking, dining, and parking.

There will be four zones of light for the site with each zone having the appropriate light levels required for the functions performed at each area. In general, Zone A will cover the soundstages, and mills; Zone B will cover the administration building, bungalows, commissary and bridges; Zone C will cover the minor parking areas by the mills and some of the soundstages; and Zone D will cover the main parking areas.

Guidelines:

- There will be minimal light trespass on adjacent native habitat areas, including trees, landscape, and Placerita Creek, as well as adjacent public roadways. Fixtures will be carefully placed and directed to reduce glare and maximize comfort and visibility.
- The use of control devices on fixtures, such as lenses, louvers, barn doors, and snoots will provide optimum beam control and minimize glare. The specific locations of fixtures will be carefully selected based on desired angles of light and intended use.
- Flexibility will be essential to switch and/or dim small groups of fixtures, providing flexibility of light levels in most areas for filming.

Legend

- Zone A - Perimeter of sound stages, mills
- Zone B - Administration, bungalows, commissary, entries
- Zone C - Various parking, mill areas, bridges
- Zone D - Main parking areas

EXHIBIT B LIGHT LEVEL ZONES - OPTION BUILD OUT

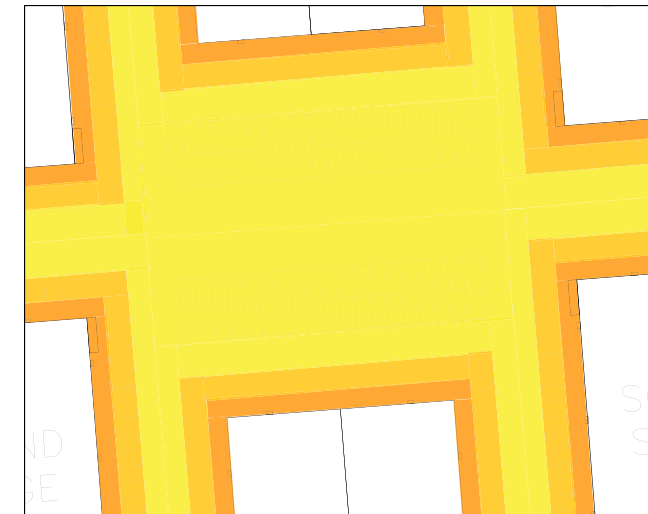


Lighting Continued...

- Energy efficiency and sustainability will be a priority. The lighting will strike a balance between fixture quantity with its corresponding energy consumption and visibility of the fixtures.
- The exact locations of post lights, building mounted fixtures, and landscape lighting will be based on the final architectural plans, details of each area, and photometrics.
- Sufficient lighting will be provided for security cameras, and recommended footcandle levels will be followed.
- Weatherproof receptacles will be placed throughout the site and recessed at the base of buildings and around landscape. Receptacles may be used for additional lighting.
- In the event that the Conditional Parking Areas located east of the Development Area are required to have lighting, these will be similar to Zone C.

Legend

- Zone A - Perimeter of sound stages, mills
- Zone B - Administration, bungalows, commissary, entries
- Zone C - Various parking, mill areas, bridges
- Zone D - Main parking areas, studio offices



Schematic representation of footcandle levels. Recommended footcandle levels may be refined based on further analysis and fixture selection.

- Legend
- 1.5 FC +/-
 - 1.2 FC +/-
 - 1.0 FC +/-

Zone A - Sound Stages and Mills

Zone A - 1.0 - 1.5 footcandles +/-

The areas around the soundstages and mills will be bright enough for functional activities such as loading and unloading of trucks, assembly/disassembly of sets, and other production activities. The lighting will provide adequate illumination without exceeding the recommended levels for efficiency. The fixtures will have little glare and provide a soft, even illumination around the buildings. A high color rendering white light is preferred.



Metal Halide or LED wall mounted fixtures for even illumination.



Metal Halide or LED wall mounted flood lights for key areas.



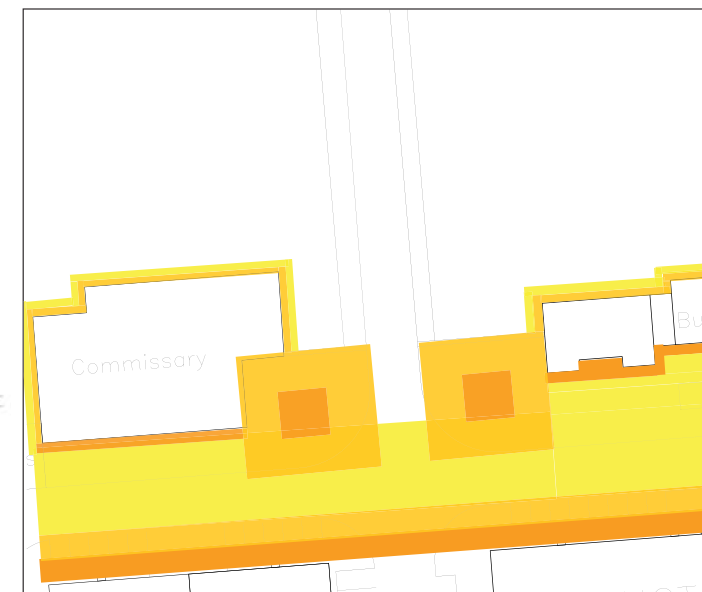
Building entry areas should be bright and welcoming.



Eaves at building entries should provide reflected or direct light.



Sufficient light for loading and unloading trucks.



Schematic representation of footcandle levels. Recommended footcandle levels may be refined based on further analysis and fixture selection.

- Legend**
- 4.0 FC +/-
 - 2.0 FC +/-
 - 1.0 FC +/-

Zone B - Administration, Bungalows, Commissary, and Entries

Zone B - 1.0 - 4.0 footcandles +/-

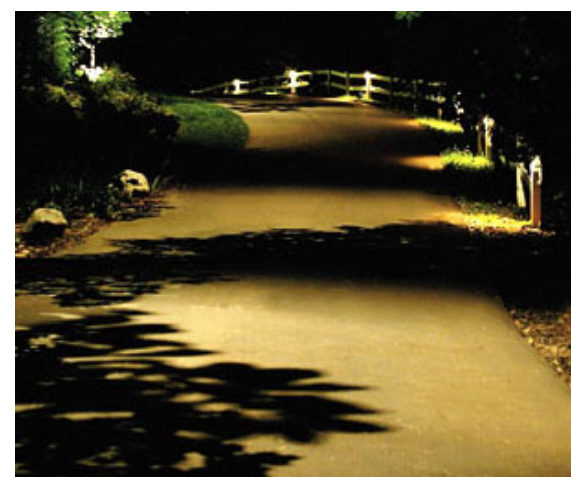
The areas around the administration buildings, bungalows, commissary and bridges will have a higher contrast, with a more dramatic and “intimate” atmosphere for walking to and from various buildings and for outdoor dining.

Types of lighting will include: feature tree uplighting and/or back lighting (silhouetting), bollards and/or residential scale post lights (soft light for streets and paths), lighting from trees (moonlighting), sconces (warm comfortable light at gathering areas), and downlighting at entries.

The lighting behind the buildings, primarily on the decks, have surface mounted fixtures faced down with full light cutoff to confine light to the balconies. This is one of the most sensitive outdoor spaces and it is critical to reduce light trespass. Areas should feel welcoming, friendly, and safe.



Dining areas are warm and intimate.



Light from trees provide dramatic light patterns.



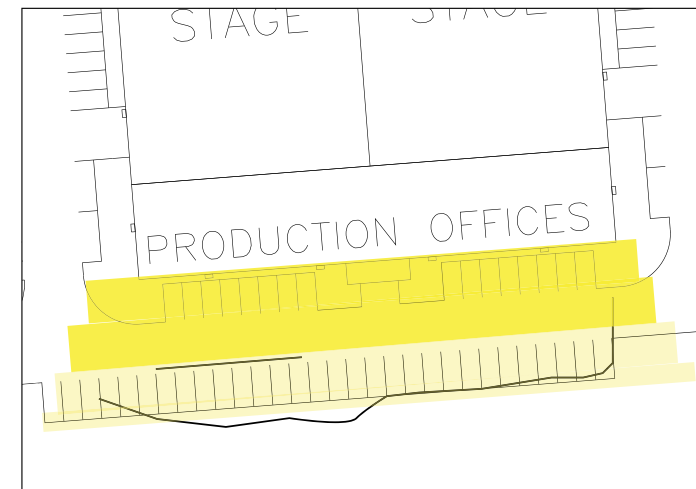
Feature trees and accented steps.



Decorative “lanterns”, sconces, etc, illuminate paths and buildings.



Illuminated main entry feature with signage.



Schematic representation of footcandle levels. Recommended footcandle levels may be refined based on further analysis and fixture selection.

Legend

- 1.0 FC +/-
- 0.7 FC +/-

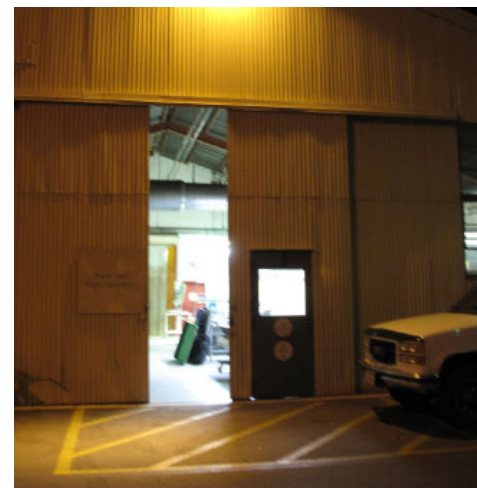
Zone C - Minor Parking and Mill Areas, Bridges

Zone C - 0.7 - 1.0 footcandles +/-

Minor parking and mill areas will have soft, adequate lighting for people to walk to cars and access the adjacent areas. Pedestrians should feel comfortable and secure. Bridges will be lit by a low focused light coming from the side walls or railings aimed at the road, sufficient for pedestrians or automobiles. The light will have a defined optical system to project lumens downward to minimize light trespass with no backlight on the creek below.



Classic/ industrial fixtures support ranch style.



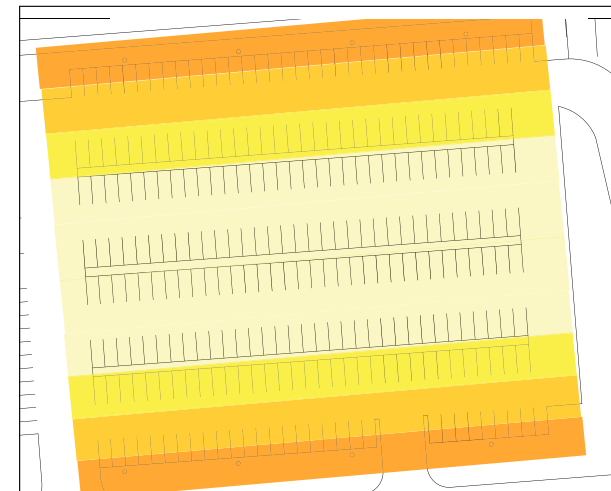
Lighting above entries for soft illumination.



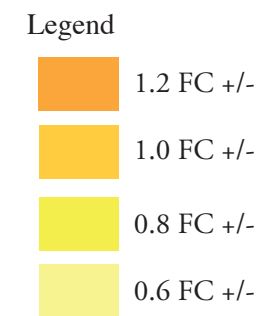
Bridges are lit from side walls and/or railings.



Low level light for access to parking and buildings.



Schematic representation of footcandle levels. Recommended footcandle levels may be refined based on further analysis and fixture selection.



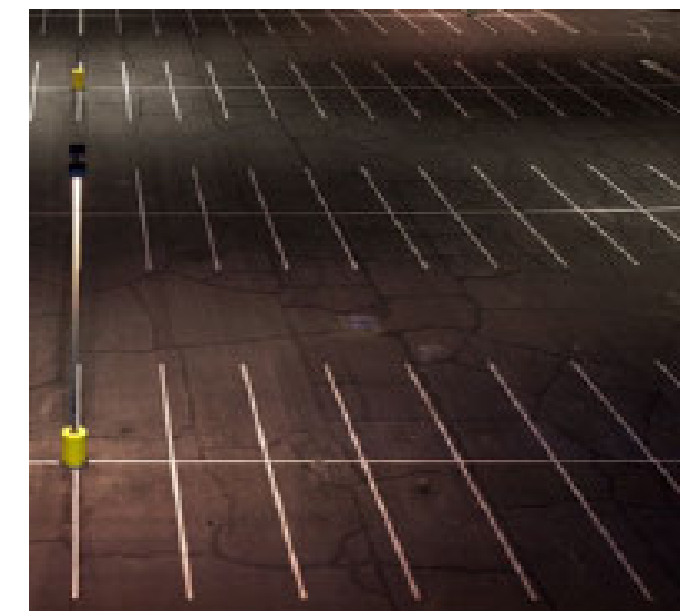
High efficacy and superb color rendering white light from metal halide or LED post lights.

Zone D - Main Parking Areas

Zone D - 0.6 - 1.2 footcandles +/-

This zone will provide sufficient light with proper color rendering properties to find cars, access keys and feel safe.

Post lights will have optimum beam control including sharp cut off with no uplight component. The fixtures will be located at the perimeters of parking areas. Beam patterns will be asymmetric with the majority of light aimed at parking, and reduced light falling behind post lights. A minimum amount of light will trespass on surrounding foliage.



Asymmetrical distribution from perimeter post lights provide soft illumination and allow for filming in open areas.

Appendix H.2
Light Memo



TRANSMITTAL

DATE: December 6, 2010

TO: Ashley Rogers
Principal Planner
MATRIX ENVIRONMENTAL
6701 Center Drive, Suite 900
Los Angeles, California 90045

PROJECT: Disney / ABC Studios Existing Site Lighting Review

ATTACHED: 1

COMMENTS: Ashley,

With regards to the existing site lighting there is little ambient light as the area has no electric light. This was noted in the Disney / ABC Studios at the Ranch guidelines and the only existing light I had seen is documented in the sketch plan sent last week with lighting measurements taken on June 15th 2010.

Outside the edge of the site near the highway there were a few post-lights providing 2.5 foot-candles (FC) under the post and 1.6 FC at the site line fence. The black dots on the plan were post-lights near the site that contribute a small amount of light (.5FC +/-) at the edge of the site.

Aside from the light levels mentioned above the majority of ambient light was from the moon at .01 FC on a full moon and less when the moon is crescent shaped. There is a small amount of light from light pollution from nearby cities with light bouncing off the underside of the clouds and atmosphere but this is minimal.

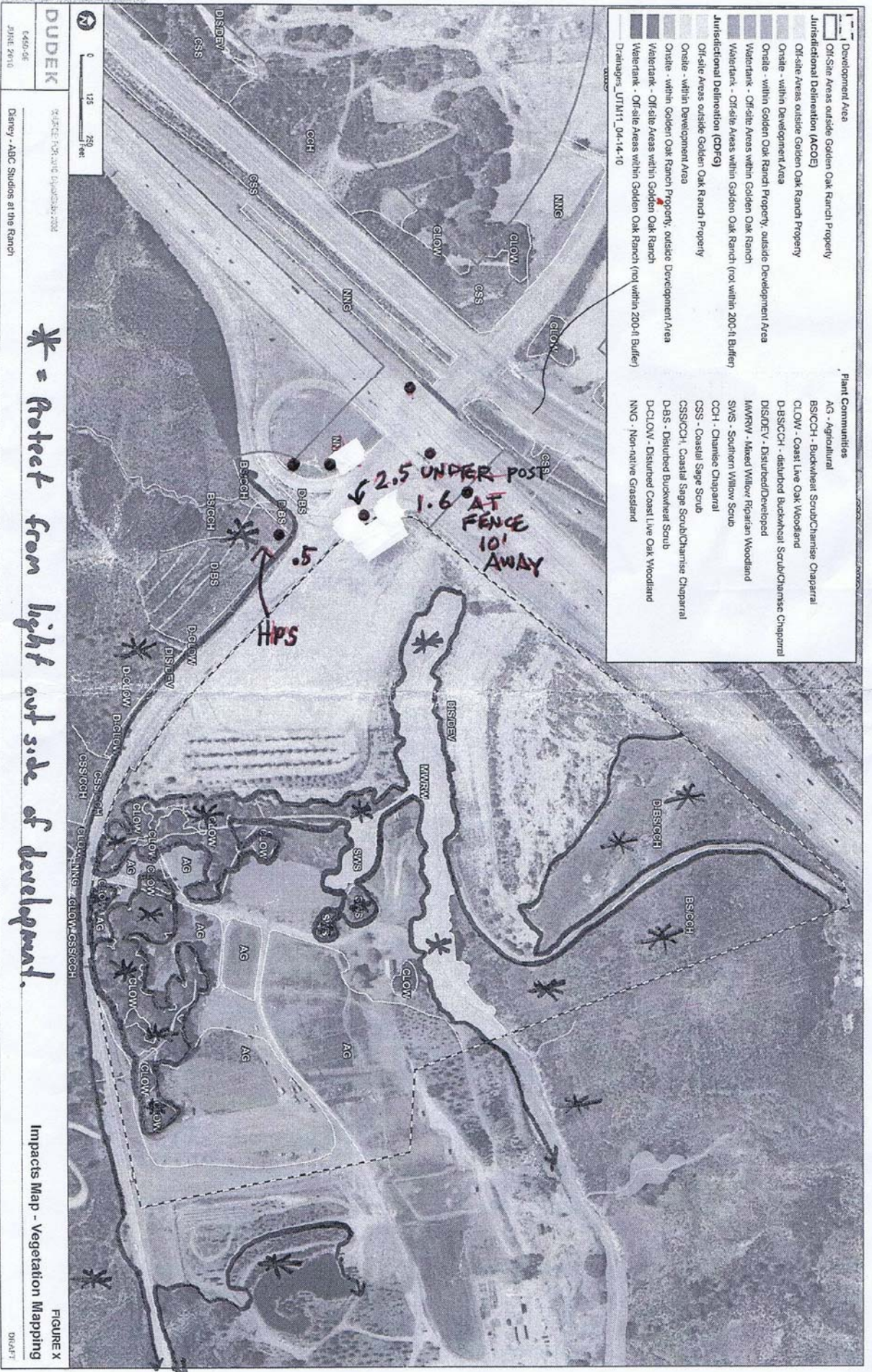
Also sent to you is a plan we call Disney / ABC Studios Footcandles which documents our projected footcandle levels for the site based on the concept lighting design. Please know that these are only projected levels and the design has not been done at this time. Based on fixtures to be selected, tested and mocked up the final light levels may vary from what is projected.

Should you have questions feel free to contact me.

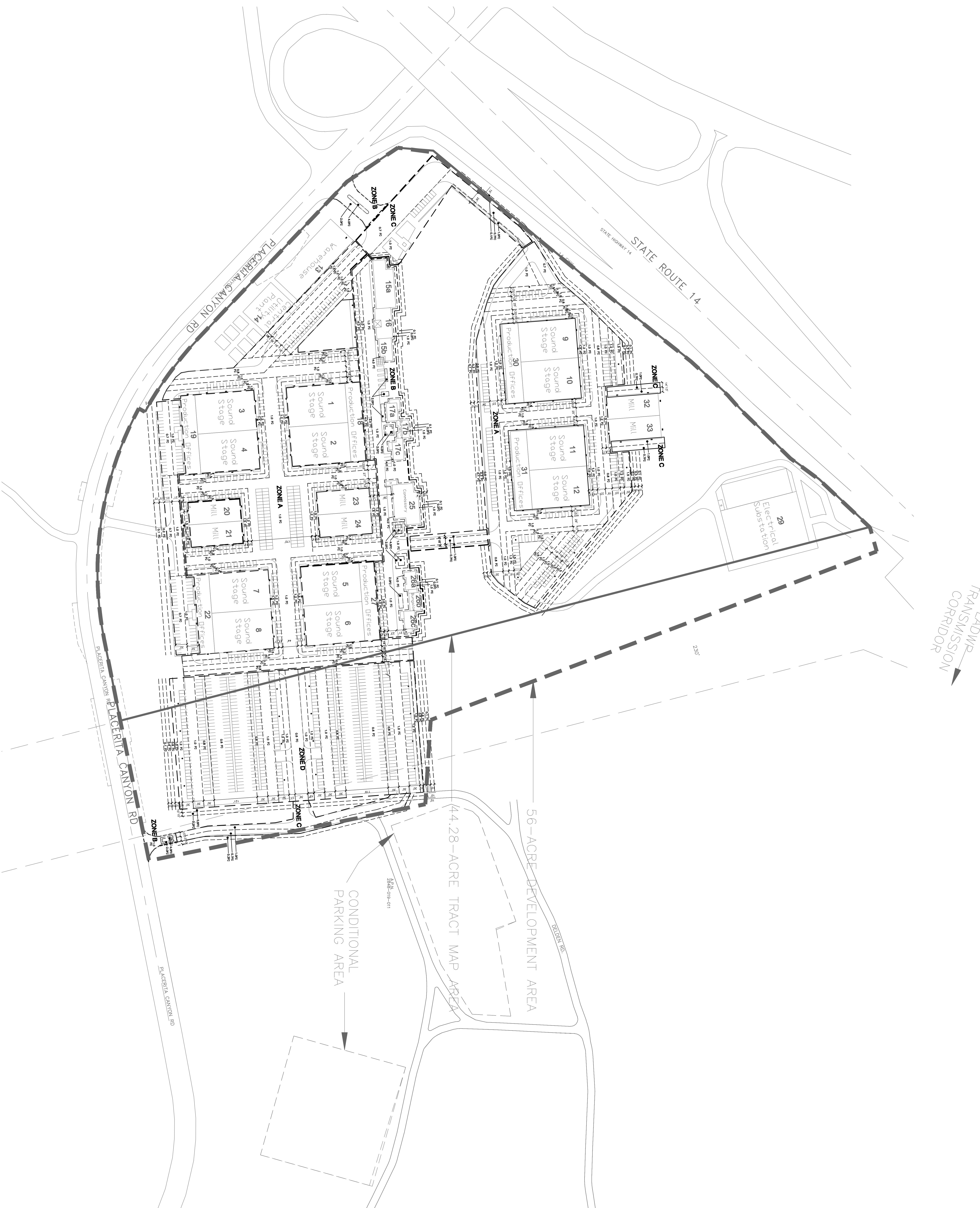
Respectfully,



Allan Leibow, IALD



* = Protect from light outside of development.



LEGEND

NOTES

**DISNEY|ABC STUDIOS
 AT THE RANCH**

**LIGHTING
 PHOTOMETRIC
 STUDY**

REVISIONS	
Date	By
10.13.10	A
	A
	A
	A

DATE: 08.24.10
 SCALE: 1/4" = 1'-0"